



Draft Conservation Management Plan

Former Hinchcliff Wool Store, 5-7 Young Street,
Sydney

November 2012

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Executive Summary

This Conservation Management Plan (CMP) was prepared for AMP Capital Investors Limited to manage the heritage significance of the former Hinchcliff Wool Store located at 5-7 Young Street. The purpose of this CMP is to guide the conservation and management of the heritage item in perpetuity and to assist property owners to manage maintenance and new works to the site. The CMP provides a careful analysis of why the site is significant, policies on how to retain its heritage significance, and conservation strategies to ensure its long term viability. The CMP should be reviewed and updated in 10 years.

The former Hinchcliff Wool Store is listed as a local heritage item on the City of Sydney LEP (2005) and the Draft LEP (2011). The store is also listed on the State Heritage Register.

What is the heritage significance of the former Hinchcliff Wool Store?

The former Hinchcliff Wool Store at 5-7 Young Street is of State heritage significance for its historic, aesthetic and representative values, and as a rare example of a largely intact vernacular wool store of the mid-19th century.

The store demonstrates the former use and function of Circular Quay as the principal trading port of the colony of NSW and as such, contributes to the interpretation of the adjacent Customs House. It reflects the shift in the market centre for wool to the colonies over London and reflects the significance and expansion of the Australian wool industry, and the economic importance of wool as Australia's chief export. The extension of the wool store circa 1882 with the construction of the northern store reflects the boom period in the wool industry circa 1870-1880. The store is associated with noted wool broker Thomas Holt junior and John and Andrew Hinchcliff, (wool merchants) and the firm of Hinchcliff, Son and Co. which was widely and favourably known as one of the oldest and largest firms connected with the wool trade of New South Wales.

Hinchcliff is of aesthetic and representative significance for its form, materials and design which typifies the first generation of wool stores which dominated Circular Quay in the mid-19th century. The store features characteristic masonry brick and sandstone facades, with gables over loading bays and original cathead pulleys, internal timber post and beam construction with king post truss roof and exposed timber floors.

The store is one of only three surviving stores within the vicinity of the Quay and one of only a small group of surviving smaller stores in the broader LGA and is considered rare. The store is of moderate to high integrity and extant equipment associated with the store use (such as the cathead beam and pulleys) are also rare.

The archaeological potential of the store and associated Customs House Lane and Loftus Lane has been assessed as moderate however archaeological deposits associated with the First Government House garden, or Aboriginal burials are potentially of National heritage significance.

The former store is also of local significance for its association with the St Vincent's De Paul Society serving variously as the Offices of the Secretariat and housing the Matthew Talbot Hostel for destitute men and the Maternal Heart of Mary Marist Chapel over the period of its approximately 40 year occupancy.

How should Hinchcliff be managed and conserved?

Section 6 of this CMP provides conservation policies and guidelines to assist in the management of the places' heritage values. As the physical structure of Hinchcliff is of exceptional significance, any proposed modifications to the heritage item must take into consideration the identified significance and must have regard for the total resource.

When undertaking works to the site, assessment under relevant legislation (refer section 5) should consider whether the works are likely to impact on the site's heritage significance and/or nominated significant fabric, as identified in this CMP. Reference should be made to the site's statement of heritage significance (Section 4.4), schedule of significant elements (Section 4.5) and its archaeological potential

and aboriginal cultural heritage significance (Section 4.6). If works may impact on the site's heritage significance, a heritage impact statement should be prepared by a suitably qualified heritage consultant in accordance with guidelines of the Office of Environment and Heritage.

The former Hinchcliff Wool Store requires regular maintenance and upgrade works to conserve its heritage significance and identified significant fabric. Change should also be considered with a goal of conserving and enhancing the identified heritage values of the asset, wherever possible, while accommodating its continued use. Minimum standards of maintenance and repair under Section 118 of the *Heritage Act 1977* and as specified in the *Heritage Regulations 2005*, is recommended to be applied to the asset to ensure its long-term conservation.

In general terms, the significant fabric of the building is in good condition. However to assist the property owners to manage the heritage significance of the former store as well as its functional requirements, the schedules of conservation and maintenance works provided in section 7 should be adopted and implemented.

1 Introduction

1.1 BRIEF

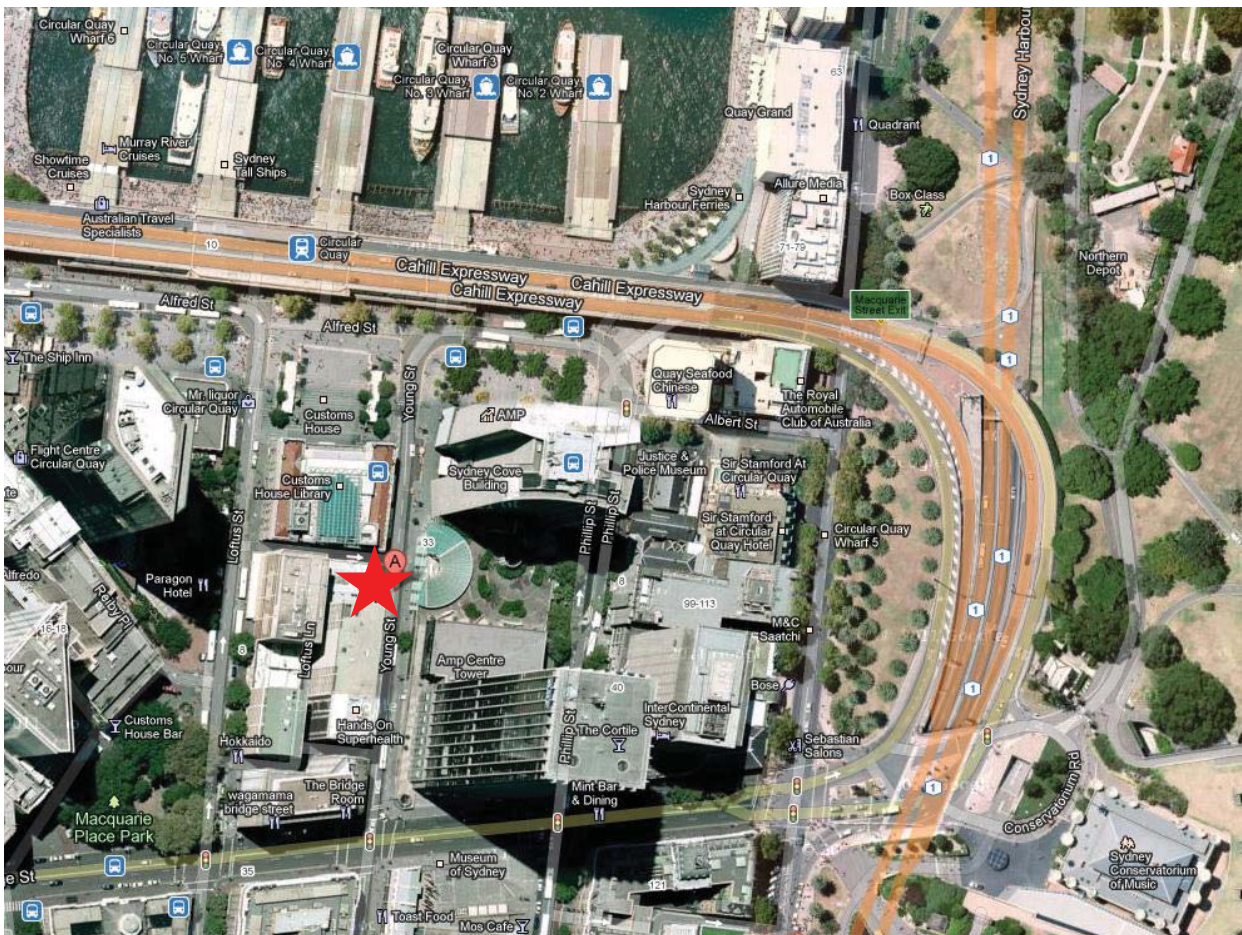
Urbis has been engaged by AMP Capital Investors Limited to prepare the following Conservation Management Plan (CMP).

The purpose of a CMP is to assess and consider the significance of an item prior to submitting development proposals. The CMP provides a careful analysis of why the item is significant, policies on how to retain its significance, and conservation strategies to ensure its long term viability.

1.2 SITE LOCATION

The site is located at 5-7 Young Street, Sydney (Figure 1), on the western side of Young Street, on the southwest corner of Customs House Lane.

FIGURE 1 – AERIAL VIEW AND LOCATION OF THE SUBJECT SITE



[Source: Google Maps 2011]

1.3 METHODOLOGY

This Conservation Management Plan has been prepared in accordance with the *NSW Heritage Manual* (1996), the *Australia ICOMOS Burra Charter* (1999) and *The Conservation Plan* by James Semple Kerr (2000).

The report is structured as follows:

- **Section 1 – Introduction:** project brief, methodology, limitation, author identification and acknowledgements
- **Section 2 – Site Description:** site location, asset and site description, use and operation, curtilage and condition assessment
- **Section 3 – History:** historical overview of the heritage item and relevant historical themes
- **Section 4 – Significance:** assessment and statement of heritage significance, identification of significant elements and archaeological potential
- **Section 5 – Heritage Listing and Statutory Obligations:** statutory heritage listings, obligations under relevant legislation
- **Section 6 – Conservation Policies:** policies to manage the items significance and implementation strategies for the policies
- **Section 7 – Conservation and Maintenance Schedule:** schedule of ongoing maintenance works
- **Section 8 – Bibliography and References.**

This report follows a site inspection undertaken on 10/10/2012. The site was inspected by Fiona Binns (Senior Heritage Consultant) and Jean Rice (Architect).

1.4 AUTHOR IDENTIFICATION AND ACKNOWLEDGEMENTS

The following report has been prepared by Fiona Binns (Senior Heritage Consultant). Stephen Davies (Director) has reviewed and endorsed its content.

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

The authors would like to thank the following people for their assistance with the compilation of this plan:

- Jean Rice (Architect) has provided specialist input into the conservation and maintenance of the site
- Frank Ianni and Caroline Choy (AMP Capital Investors Limited)

1.5 LIMITATIONS

The following areas were not accessed at the time of the inspection:

- The northern office at the entry to the ground floor chapel (locked) 5 Young Street)
- Roof space of the southern store (7 Young Street)

This report notes the potential for original fabric and finishes that were not able to be investigated as part of the brief for the provision of the CMP. For example original timber flooring under carpeting or tiled areas on the ground floor. Roof spaces were not investigated. The CMP makes recommendations with regard to the management of original fabric.

2 Site Description

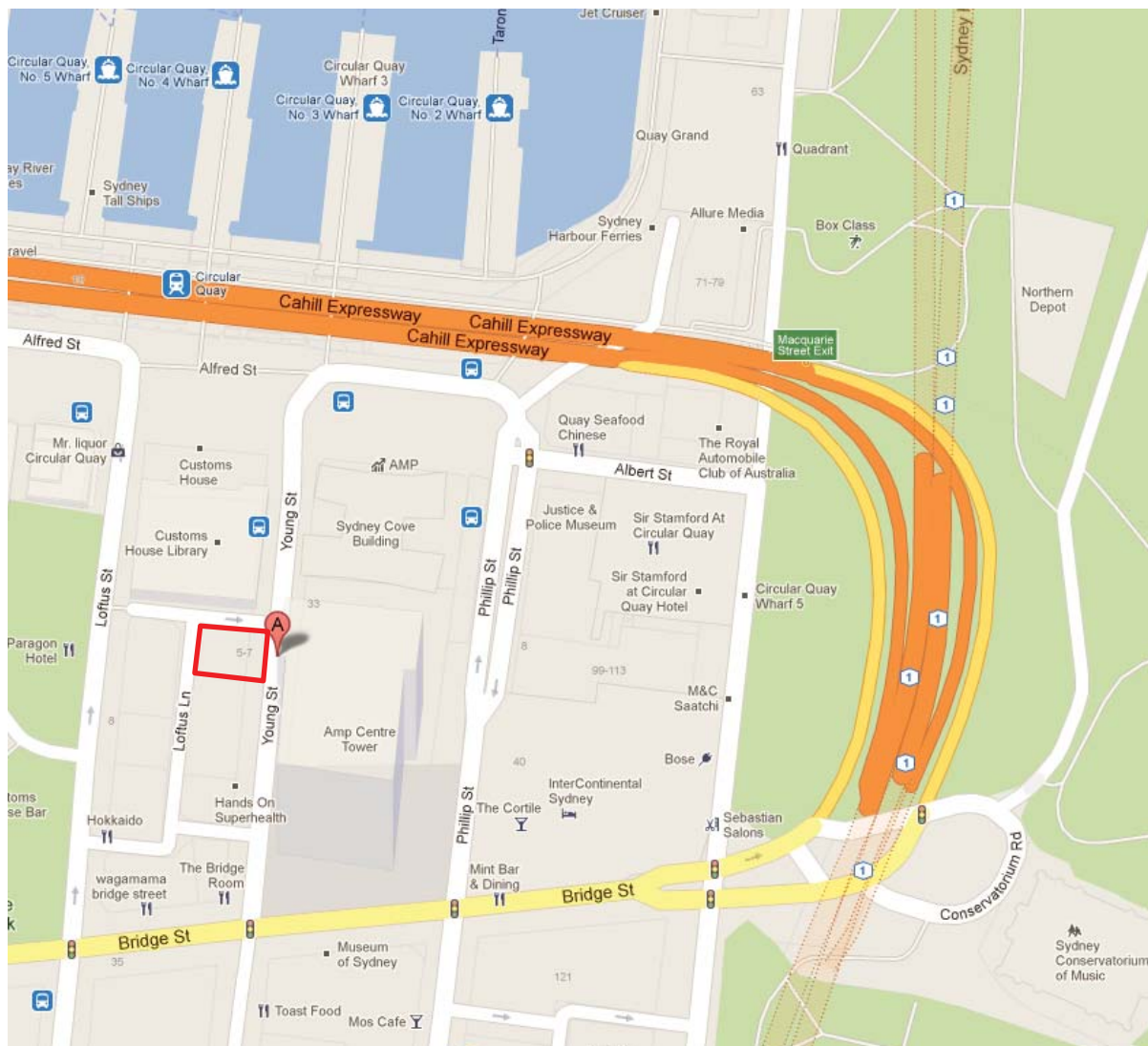
2.1 SITE LOCATION, ACCESS AND SETTING

The Hinchcliff Wool Store is located at 5-7 Young Street, Sydney, on the corner of Customs House Lane. The Lot and DP is L1/DP104784. The subject site is constructed over the entire allotment and as such, the physical footprint of the building forms the lot boundary and curtilage.

The principal frontage is to the Customs House Lane (Northern elevation) and the eastern Young Street elevation, with the access via Young Street. It has a secondary frontage to Loftus Lane (western elevation) and adjoins development along the rear southern boundary. The former wool store is adjacent to Customs House (to the north of the subject site) and commercial development to the south. Loftus Lane is predominantly utilitarian in character and also provides a rear frontage for varied commercial development fronting Loftus Street. There is a secondary (fire exit) to the rear lane and no vehicle access to the site

The site falls away to the north (towards Circular Quay) and the ground floor is set above the street level on the Customs House Lane frontage.

FIGURE 2 – LOCATION OF THE SUBJECT SITE

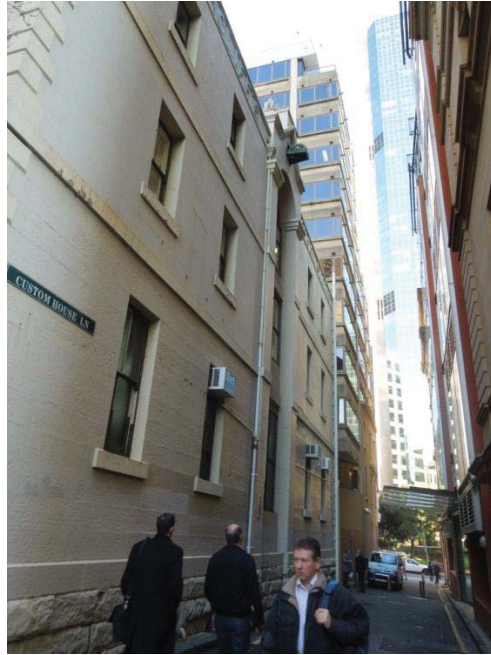


SOURCE: GOOGLE 2012

FIGURE 3 – STREETScape VIEWS



VIEW SOUTH ALONG YOUNG STREET, AS VIEWED FROM THE AMP TOWER



VIEW WEST ALONG CUSTOMS HOUSE LANE

2.2 SITE DESCRIPTION – THE EXTERIOR

FIGURE 4 – THE SUBJECT SITE

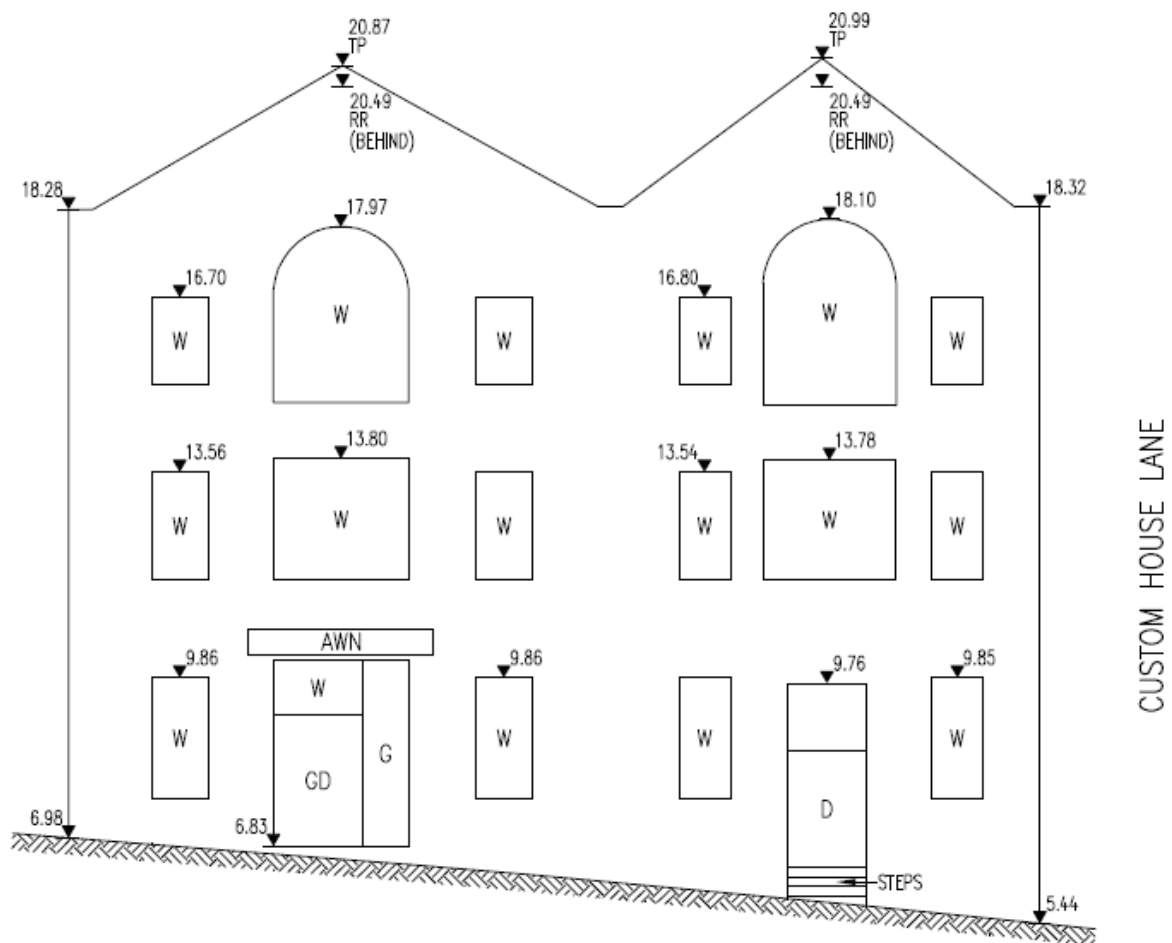


VIEW OF THE PRINCIPAL EASTERN AND NORTHERN ELEVATIONS. ACCESS IS VIA THE EASTERN/ YOUNG STREET ELEVATION.

The former wool store known as 5-7 Young Street is constructed in the Victorian Regency style, characteristic of small stores of the period. The original builder and/or designer are unknown. The building is three storeys, constructed in Sydney sandstone and sandstock brick, faced externally in stucco with a painted finish. The store was constructed in two phases (c. 1870s southern store and c.1882 northern store) and comprises two gabled bays, approximately 7.6m in width with a parapeted façade to the northern elevation, bearing the raised lettering “Hinchcliff’s Wool Store”. Each of the stores features a central loading bay under the gable, flanked by double hung sash windows with stone sills. The facades are embellished by sandstone quoining to the corners and windows, and stucco moulding featuring arched label moulds within the gabled bays and ball finials at the gable apexes. The gabled roof is clad in corrugated iron.

Overall the building is in good condition with some minor deterioration of sandstone and some damp evident. The facades have been modified in conjunction with contemporary access and uses. Remnant industrial features survive including signage and remnant cat head pulleys.

FIGURE 5 – SURVEY PLAN OF THE EASTERN ELEVATION



SOURCE: CONSULTING SURVEYORS DENNY LINKER AND CO, PLAN SHOWING ELEVATIONS YOUNG AND LOFTUS STREETS DWG 120502 DATED 20/07/2012 (PART PLAN ONLY)

The central bays of the eastern elevation have been modified, from the original arrangement of doors and fanlights. Only the multipaned glazing within the arches may be original, while the timber six paned casement windows suggest an early 20th century insertion. The former openings have been partially infilled with brick at the first and second floor levels. The ground floor facades have been modified with new entry for the E. F International English School at the southern store featuring a suspended awning with pressed metal soffit and steel framed and glazed recessed entry. The northern entry was constructed circa 1966 for the former Marist Brothers Chapel, and associated works included new brick insertion to the height of the stringcourse level, new timber entry doors and reconstruction of the adjacent window to match the existing.

FIGURE 6 – THE YOUNG STREET/ EASTERN ELEVATION



THE PRINCIPAL/ EASTERN ELEVATION

FIGURE 7 – VIEWS OF THE EASTERN FAÇADE

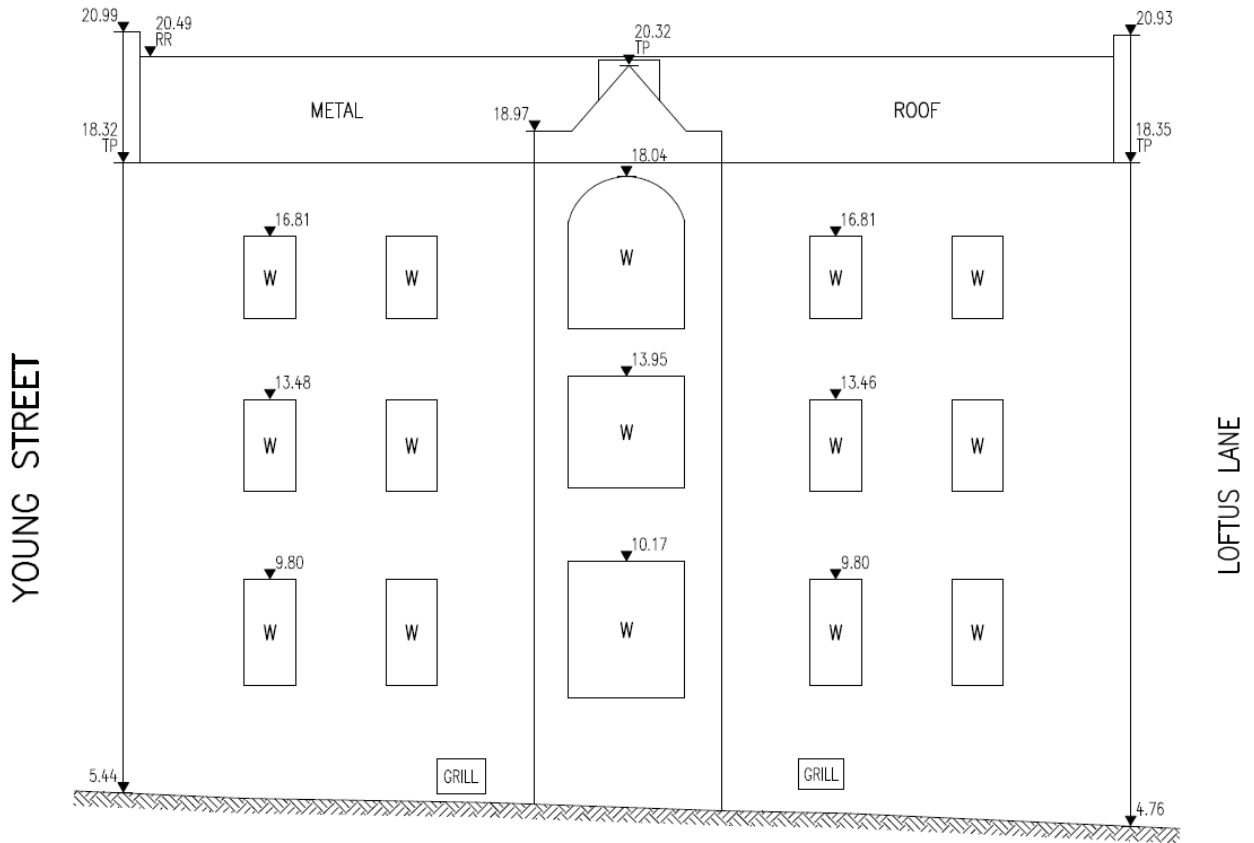


THE CENTRAL BAY OF THE NORTHERN STORE-
MODIFIED IN CONJUNCTION WITH THE FORMER
CHAPEL FUNCTION (C. 1966)



THE ENTRY TO THE SOUTHERN STORE WAS MODIFIED
ENTRY FOR THE E. F INTERNATIONAL ENGLISH
SCHOOL

FIGURE 8 – SURVEY PLAN OF THE NORTHERN ELEVATION



SOURCE: CONSULTING SURVEYORS DENNY LINKER AND CO, PLAN SHOWING ELEVATIONS YOUNG AND LOFTUS STREETS DWG 120502 DATED 20/07/2012 (PART PLAN ONLY)

FIGURE 9 – THE NORTHERN ELEVATION



THE NORTHERN ELEVATION AS VIEWED FROM YOUNG STREET.



THE NORTHERN ELEVATION AS VIEWED FROM CUSTOMS HOUSE AND LOFTUS LANES (VIEW EAST TO YOUNG STREET)

The site slopes down to the north towards Circular Quay and the northern store is constructed on a rock faced sandstone base course. As noted above, the northern elevation is constructed in sandstone to the first floor stringcourse. The upper floors are painted, rendered and ashlar lined. The northern elevation is arranged around the original central loading bay, which has been partially infilled with bricked up and rendered spandrels and the fenestration modified. The central bay is articulated with flanking piers and a

decorative gabled pediment which retains the original cathead pulley and decorated by miniature lion heads. The façade is symmetrical, with pairs of (early 20th century) double hung timber windows flanking the central bay. Two openings in the sandstone base course provide light to the basement of the northern store.

Rising damp is evident in the lower sandstone courses. Downpipes and rainwater heads appear to be in good condition, including some recent replacements. Three air-conditioning units are fixed to the façade. The former sheep effigy which stood on the northern elevation parapet as a symbol of the former building use has been lost.

FIGURE 10 – DETAIL VIEWS OF THE NORTHERN FAÇADE



THE MODIFIED CENTRAL LOADING BAY



TYPICAL DOUBLE HUNG TIMBER WINDOWS TO THE NORTHERN FAÇADE



THE GABLED PEDIMENT WITH INTACT CATHEAD PULLEY AND DECORATIVE LION HEAD AND BALL FINIALS – REFER ALSO DETAIL AT RIGHT

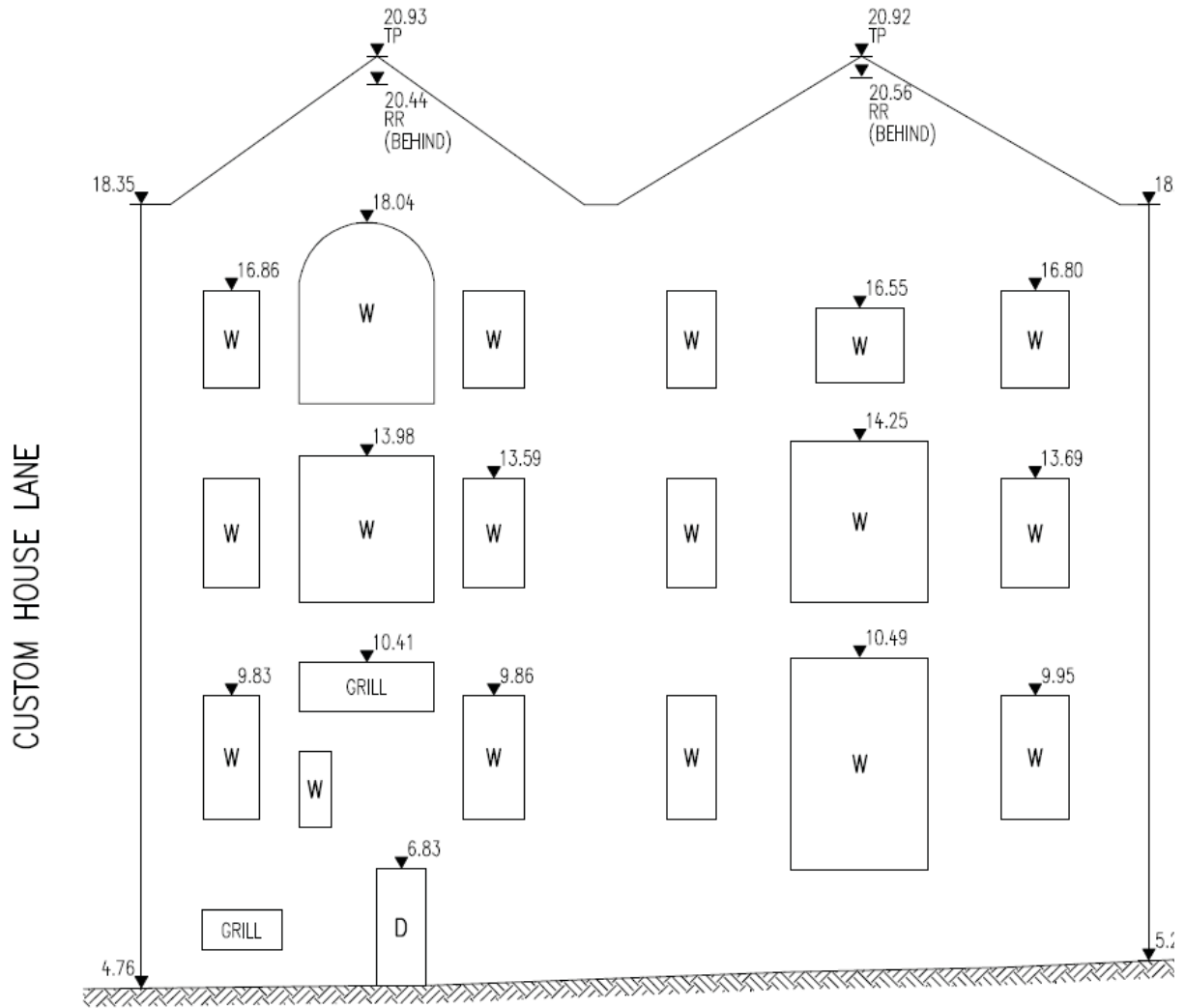


DECORATIVE LION HEAD AND BALL FINIALS TO THE NORTHERN FAÇADE PARAPET

Matching the eastern elevation, the western Loftus Lane elevation features the double gabled form with central loading bays and symmetrical fenestration however the façade overall is more utilitarian in character. Windows have been replaced with steel framed casement windows and features contemporary steel security grills. Ground floor fenestration on the northern store has been modified and partially infilled in conjunction with the former chapel use and to facilitate the later insertion of the basement fire access. Infilled masonry features faux sandstone picked treatment. The central arched window on the southern store has also been modified and partially enclosed. The façade retains the original cathead pulleys over

both loading bays. The façade of the southern store is painted and unrendered and the profile of the sandstock brick is legible. Downpipes and rainwater heads appear to be in good condition.

FIGURE 11 – SURVEY PLAN OF THE WESTERN ELEVATION



SOURCE: CONSULTING SURVEYORS DENNY LINKER AND CO, PLAN SHOWING ELEVATIONS YOUNG AND LOFTUS STREETS DWG 120502 DATED 20/07/2012 (PART PLAN ONLY)

FIGURE 12 – THE WESTERN/ LOFTUS LANE ELEVATION



THE WESTERN REAR LANE ELEVATION IS MORE UTILITARIAN IN CHARACTER THAN THE EASTERN ELEVATION



THE ELEVATION INCORPORATES A LATER FIRE ACCESS FROM THE BASEMENT TO THE LANE



THE NORTHERN BAY CATHEAD PULLEY RETAINS THE STEEL CASING



DETAIL OF THE RETAINED CATHEAD PULLEY ON THE SOUTHERN STORE



VIEW NORTH ALONG LOFTUS LANE SHOWING THE WESTERN ELEVATION AND SOUTHERN RETURN

The southern elevation adjoins contemporary commercial tower however the southern return indicates some rising damp in the southern wall.

2.3 SITE DESCRIPTION – THE INTERIOR

The former wool store is leased by the E. F International English School, which occupies all three floors and the basement.

The wool store is of characteristic construction, with sandstock brick internal walls, hardwood timber floors, post and beams and king post truss system with dressed members. The interior has been variously altered in conjunction with various office and other uses post 1945, including new stairs throughout, partitioning, upgraded fire protection services, new WCs/ bathrooms and services and rendering of some internal walling.

Plans and photos have been provided below to illustrate the current arrangement.

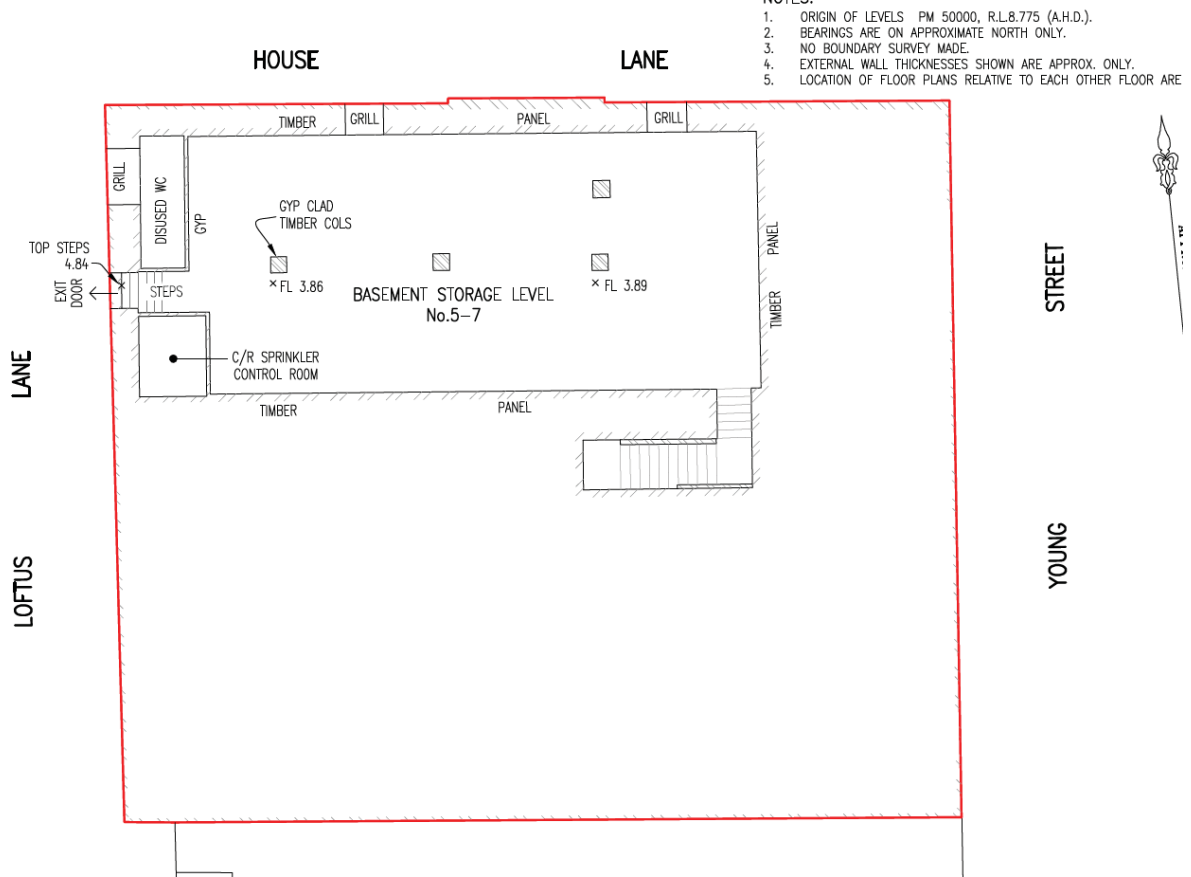
2.3.1 THE BASEMENT

The basement is accessed via contemporary stair from the ground floor and is located below the northern store only. The basement is fully enclosed and lined and is currently used by the language school for

storage. The main open plan interior retains four original posts, encased within the timber ply cladding. The northern sandstone wall is rendered to approximately 1200mm.

The basement houses some utilities with the sprinkler control room in the southwest corner and fire egress via stairs to the rear lane. There is a disused WC in the northwest corner, currently used for storage.

FIGURE 13 – BASEMENT FLOOR PLAN



SOURCE: CONSULTING SURVEYORS DENNY LINKER AND CO, PLAN SHOWING INTERNAL DETAILS AT BASEMENT STORAGE LEVEL, NO. 5-7 YOUNG STREET SYDNEY, DWG 120502 DATED 31/07/2012

FIGURE 14 – THE BASEMENT



BASEMENT VIEW EAST. THE ORIGINAL HARDWOOD TIMBER COLUMNS ARE ENCASED WITHIN PLYWOOD CLADDING



BASEMENT VIEW WEST TO THE FIRE STAIR.



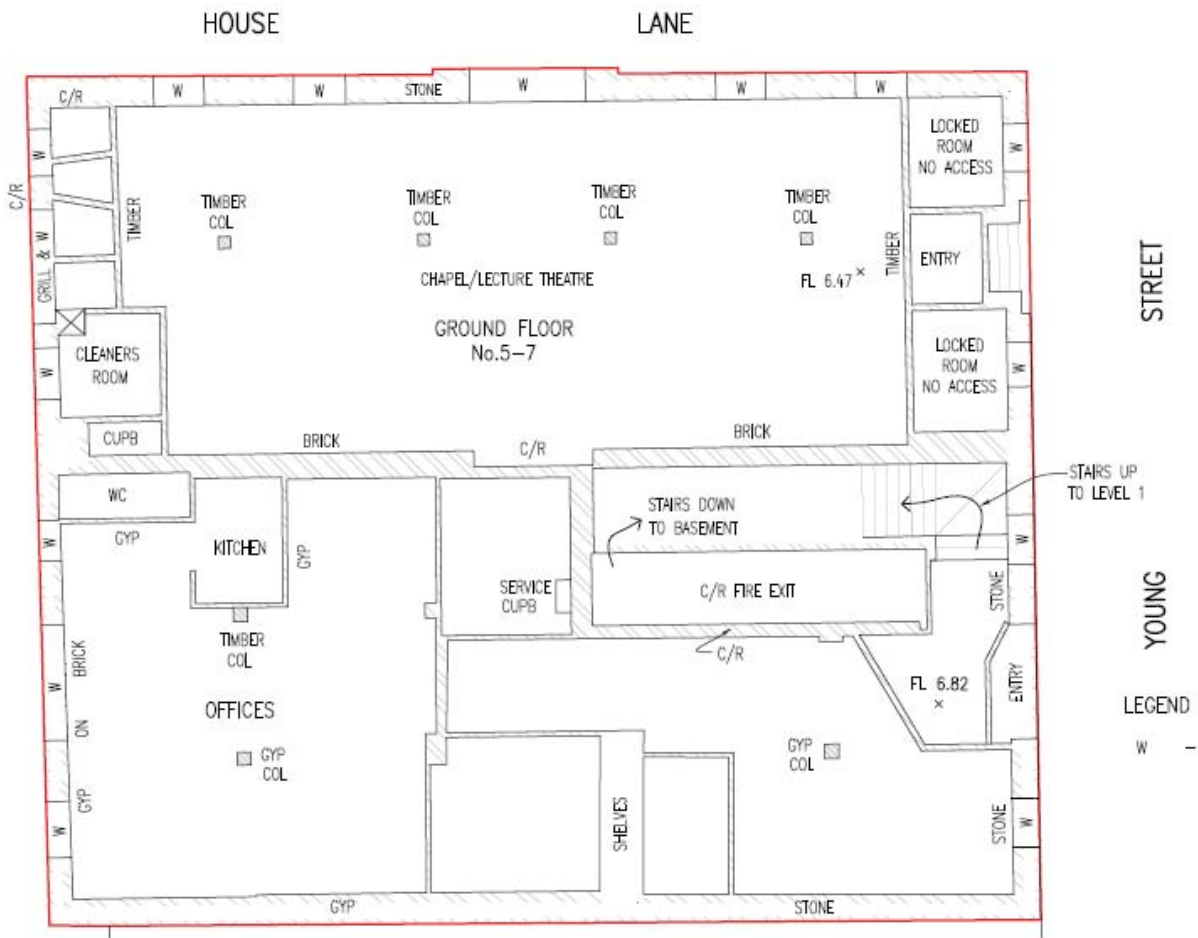
BASEMEN STAIR TO THE GROUND FLOOR



THE FIRE STAIR (TO LOFTUS LANE) AND SPRINKLER CONTROL ROOM AT LEFT.

2.3.2 THE GROUND FLOOR

FIGURE 15 – GROUND FLOOR PLAN



SOURCE: CONSULTING SURVEYORS DENNY LINKER AND CO, PLAN SHOWING INTERNAL DETAILS AT GROUND FLOOR, NO. 5-7 YOUNG STREET SYDNEY, DWG 120502 DATED 31/07/2012

The ground floor is split into two sections; the southern store, which houses the reception and office areas for the language school, and the northern store, which formerly housed the Maternal Heart of Mary Marist Chapel and is leased (though unused) by the language school. There is no access between the stores.

The southern store has a contemporary office fit out, with dropped ceilings and wall cladding and aluminium and glazed partitioning. A concrete stair hall (c.1950) is located at the northeast corner of the store. The sandstone finish is exposed within the main reception area at the southeast corner, along the interior of the eastern elevation and partially along the southern wall into the office areas. Limestone mortar is in poor condition and requires repointing along the southern elevation and there is evidence of salt attack/ damp. The surface of the stone appears to have been sandblasted. Floors are concrete with a tiled finish, within the lobby area. Only three of the original hardwood columns are intact, two encased within gyprock cladding in conjunction with the office fitout. A staff/ teachers room is located at the rear/ western end, which incorporates a contemporary WC, bathroom, and kitchenette.

FIGURE 16 – THE GROUND FLOOR (SOUTH)



VIEW WEST WITHIN THE RECEPTION/ OFFICE AREA



THE GROUND FLOOR OFFICE AREA, SHOWING THE ENTRY, SANDSTONE WALLING AND TIMBER DOUBLE HUNG WINDOW (TO EAST ELEVATION)



VIEW EAST TO THE ENTRY/ RECEPTION AREA



ONE OF THE OFFICES ADJACENT TO THE RECEPTION AREA, SHOWING THE SOUTHERN SANDSTONE WALL



THE OFFICE AREA AND REAR TEACHERS/ STAFF ROOM



THE REAR TEACHERS/ STAFF ROOM, SHOWING THE STEEL CASEMENT WINDOWS (TO LOFTUS LANE) AND ENCASED HARDWOOD COLUMN (AT LEFT)

The chapel is accessed via stairs from Young Street. The entry is recessed with two sets of timber double doors. The eastern end is partitioned with two offices either side of the entry. The western end is partitioned with three confessional booths (reflecting the former chapel function) and a cleaning store. The external sandstone façade is exposed on the northern wall; the south wall is sandstock brick, approximately 450mm thick. There is an infilled arched opening at the centre of the south wall, which formerly accessed the southern store, and a void adjacent to the arch on the western side. Various timber plugs are retained in the brickwork indicating previous wall lining.

As with the southern store, the former chapel features contemporary dropped ceilings and panelling indicates an infilled opening in the ceiling over the central arch, which likely served an industrial function. Within the partitioned areas at the western end (cleaners room and confessional booths), there is evidence of previous ceiling lathes however these do not appear to be early and evidence of whitewash to the underside of the floor boards suggests that there were no ceilings originally and the floor above was exposed.

The chapel retains four original posts. The posts feature chamfered corners and stop chamfers to the top and bottom. Tool marks indicate that the posts were hand adzed.

FIGURE 17 – THE FORMER MATERNAL HEART OF MARY MARIST CHAPEL



VIEW EAST, TO THE YOUNG STREET ENTRY



VIEW WEST WITHIN THE CHAPEL TO THE CONFessionALS



VIEW OF THE INTERNAL SANDSTONE WALL AND ONE OF THE TIMBER POSTS (HAND TOOL MARKS ARE EVIDENT ON THE POSTS).



VIEW OF ONE OF THE CONFESSION BOOTHS (POST 1945)

In recent years there has been some minor upgrading for fire services, with sprinkler system installed throughout. It is understood that the school has leased the former chapel until 2015; however the space remains disused. Some salt activity and damp is evident in the northern stone wall particularly at the western end and in the vicinity of the former loading dock. Otherwise the stone is in good condition, with lime mortar and limited cement patching. The masonry section below the central window has been infilled (likely brick) and the original loading doors removed. Damp is also evident in the southern sandstock brick wall, at the western end. The surface of the brick is rough and in poor condition and may have been sandblasted or picked in conjunction with the removal of later render (as part of documented refurbishment works to the Chapel). Some loss of mortar is noted.

FIGURE 18 – CONDITION OF FABRIC – DETAIL VIEWS OF BRICK AND STONE FINISHES



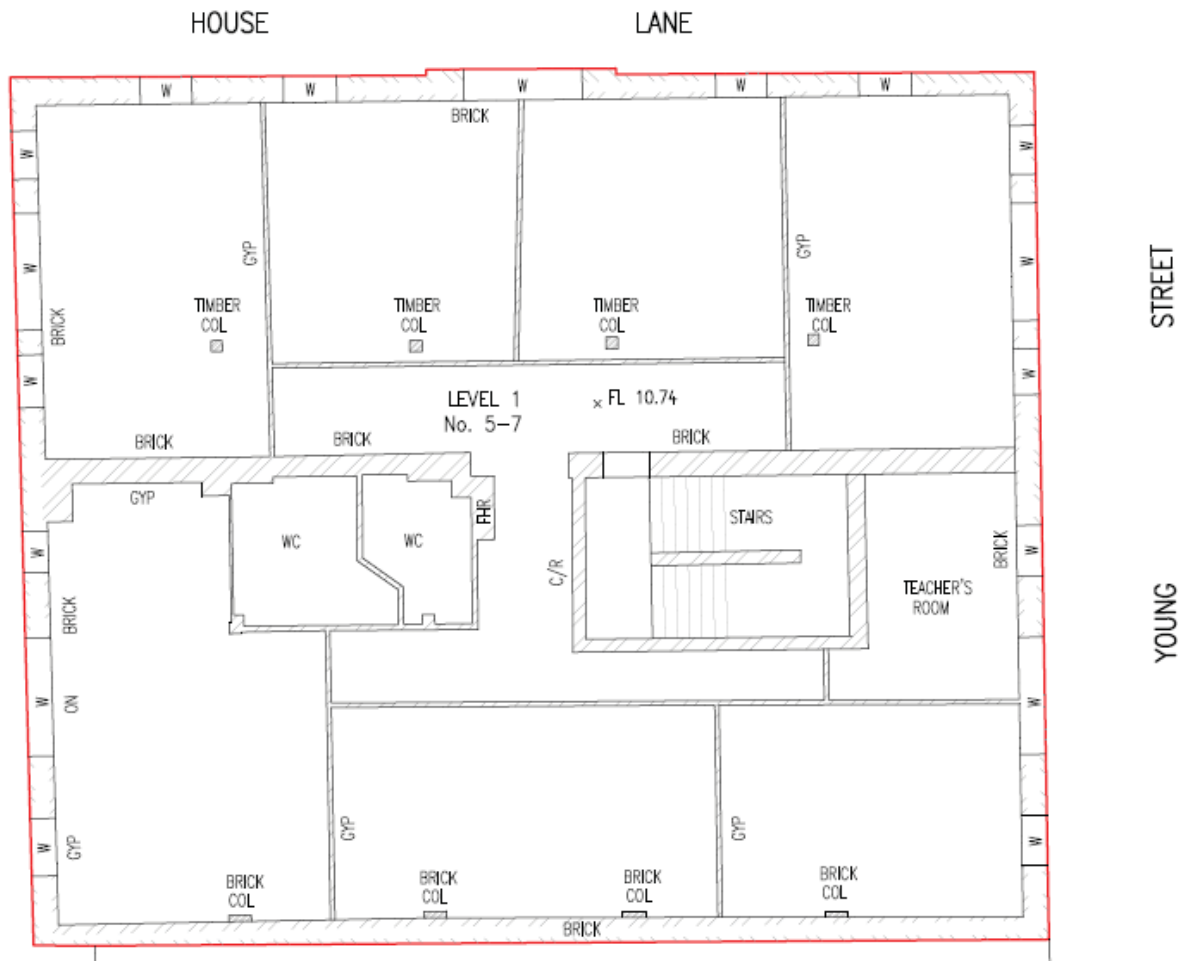
DETAIL OF THE SANDSTOCK BRICK WALL SHOWING DEGRADED SURFACE



DETAIL OF THE NORTHERN WALL SANDSTONE SHOWING EVIDENCE OF SALT ACTIVITY AND CEMENT PATCHING

2.3.3 THE FIRST FLOOR – LEVEL 1

FIGURE 19 – FIRST FLOOR PLAN



SOURCE: CONSULTING SURVEYORS DENNY LINKER AND CO, PLAN SHOWING INTERNAL DETAILS AT LEVEL 1, NO. 5-7 YOUNG STREET SYDNEY, DWG 120502 DATED 31/07/2012

FIGURE 20 – FIRST FLOOR VIEWS SHOWING CONTEMPORARY PARTITIONING AND SERVICES



VIEW WEST IN THE SOUTHERN STORE SHOWING CONTEMPORARY PARTITIONING AND SERVICES



VIEW NORTH, ADJACENT TO THE STAIR HALL AND SHOWING CONTEMPORARY DUCTING AND SERVICES



ONE OF THE FIRST FLOOR WCS (STANDARD ON LEVEL 1 AND 2)

The first floor/ level 1 accommodates offices and classrooms for the language school including contemporary lightweight partitioning, new WCs and extensive services including air conditioning, lighting and ducting (refer Figure 20 above). The floor is accessed via the concrete stair at the north east corner of the southern store. The two stores are divided by a central brick wall, with a central arched opening with additional opening off the stair hall.

The brick facades are exposed on the interior and the central dividing wall is constructed of facebrick (sandstock). Some sections have rendered or lined finishes. The brickwork is largely constructed in English bond and generally the surface of the face brick is in poor condition, having been aggressively cleaned throughout (likely in conjunction with the removal of previous render or wall linings). Single windows typically feature exposed sandstone sills. The southern wall features brick piers with sandstone capping, which support large timber hardwood beams. On the northern elevation, beams bear on sandstone lintels. Hardwood joists and the timber floorboards are exposed above and various mortices indicate missing posts and members. Only one of the original eight posts is retained in the southern store, at the western end, while the northern store retains more original joinery including four adzed timber columns and remnant sections of herringbone struts between the exposed floor joists.

FIGURE 21 – FIRST FLOOR VIEWS, SHOWING SIGNIFICANT BRICKWORK AND JOINERY



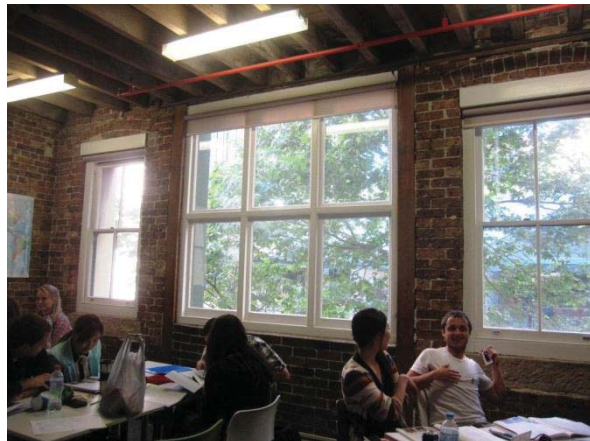
ONE OF THE SOUTHERN CLASSROOMS SHOWING THE REAR WALL WITH BRICK AND SANDSTONE PIERS AND INFILLED FORMER WINDOW. TIMBER FLOORBOARDS, BEAMS AND JOISTS ARE EXPOSED ABOVE.



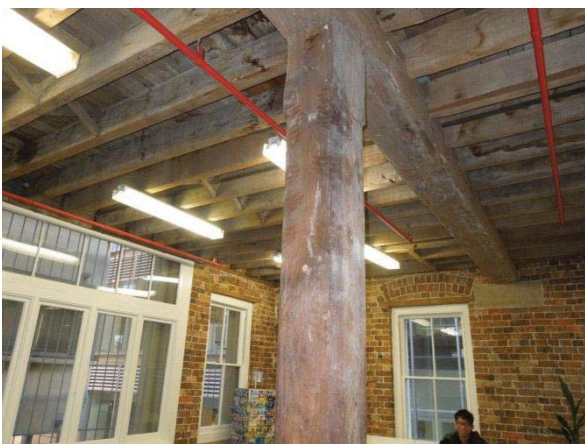
DETAIL OF ONE OF THE SUPPORT BEAMS WITH FLOOR JOISTS OVER. THE BEAM IS HAND ADZED WITH TOOL MARKS EVIDENT (SOUTHERN STORE).



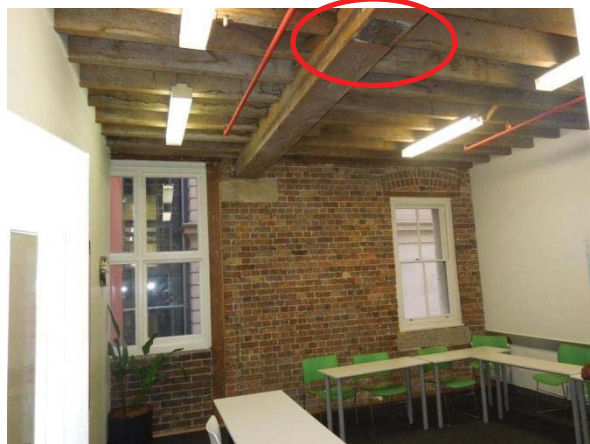
INTERIOR WESTERN ELEVATION SHOWING THE FACEBRICK AND PART RENDERED FINISH AND ALTERED CASEMENT WINDOWS (SOUTHERN STORE)



VIEW OF THE STUDENT COMMON ROOM SHOWING THE EASTERN ELEVATION WITH DOUBLE HUNG TIMBER WINDOWS AND INFILLED CONTEMPORARY BRICKWORK TO THE CENTRAL WINDOW (NORTHERN STORE)



VIEW OF THE TIMBER BEAM AND POST AND EXPOSED FLOOR JOISTS AT THE NORTHWEST CORNER OF THE SITE. LIGHTING AND SPRINKLER SERVICES ARE CONTEMPORARY.



INTERIOR OF THE NORTHERN ELEVATION SHOWING TIMBER DOUBLE HUNG WINDOW WITH SANDSTONE SILL AND INFILLED CONTEMPORARY BRICKWORK TO CENTRAL WINDOW BAY. THE TIMBER BEAM IS SUPPORTED ON A SANDSTONE LINTEL. LOCATION OF ONE OF THE MISSING COLUMNS IS INDICATED.



DETAIL OF THE STOP CHAMFERED BASE TO ONE OF THE HARDWOOD POSTS



VIEW OF THE EXPOSED FLOOR JOISTS AND REMNANT HERRINGBONE TRUSSES (NORTHERN STORE)

There is evidence of hatches and openings within the floor over, potentially for an earlier stair or chute. Some minimal replacement of original floor joints or members is evident, distinguished from the hand tooled original members. Modifications include alterations to the joists in the westernmost room (northern store) with some smaller timbers inserted. Some of the windows at the western elevation have been replaced with steel framed casements. Contemporary brickwork is apparent in the central window bays

on the eastern and northern elevation, indicating infill of former loading bay doors. Within the southern store, a former central window has been enclosed on the southern wall, (which adjoins commercial development) however the recess and arch over are retained (refer Figure 21 above).

Overall the condition of the fabric is good. There is some damage and failure of brickwork in the central wall at the western end and some movement is indicated at the juncture of the western elevation and central wall (refer Figure 22 below) and structural assessment has been recommended.

FIGURE 22 – CONDITION OF FABRIC - DETAIL OF DAMAGED/ FAILED BRICKWORK



CRACKED BRICKWORK, MISSING MORTAR AND OPEN JOINT INDICATES MOVEMENT IN THE WESTERN ELEVATION AT THE JUNCTURE OF THE CENTRAL WALL (NORTH STORE)



DETAIL OF FAILED AND DAMAGED BRICKWORK AT THE WESTERN END OF THE CENTRAL WALL (NORTH STORE)

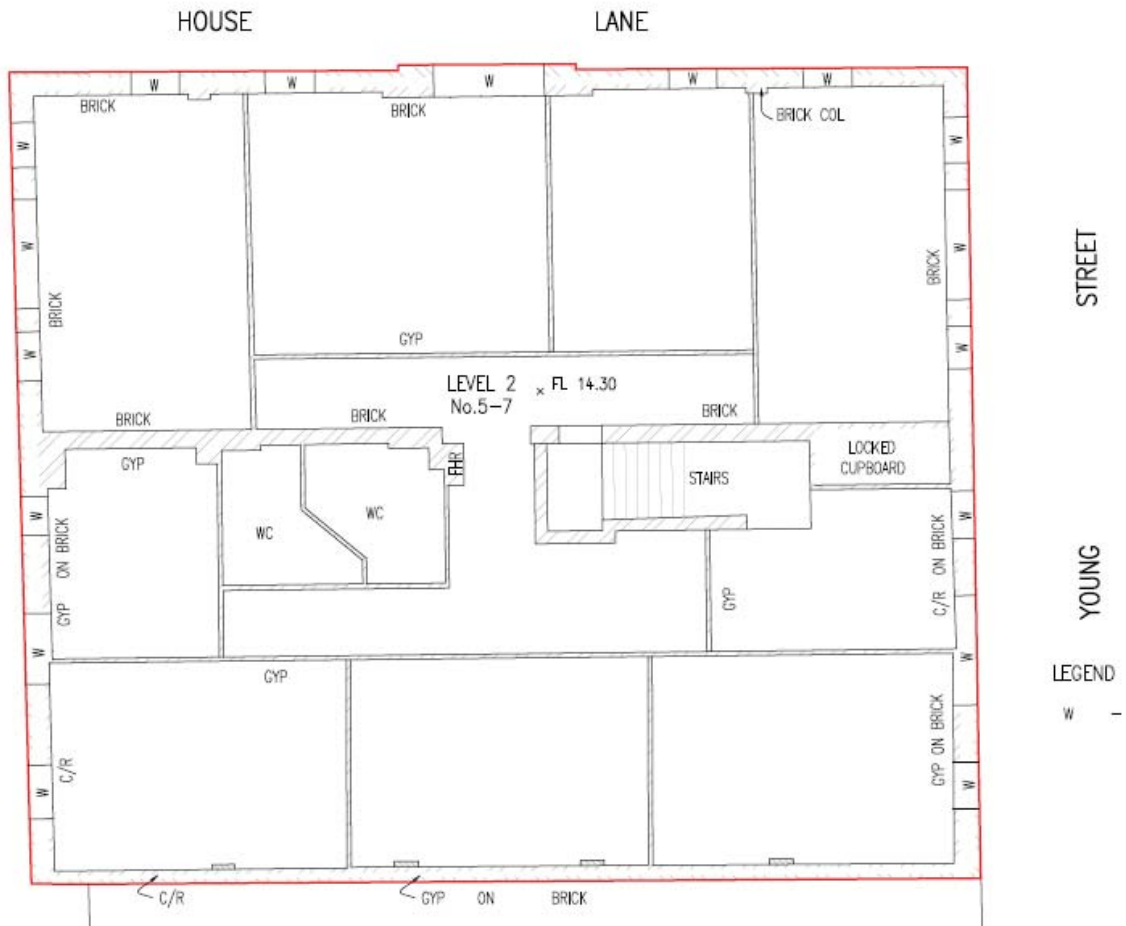
2.3.4 THE SECOND FLOOR – LEVEL 2

The second floor accommodates classrooms for the language school and the formerly open plan stores have been subdivided internally with contemporary lightweight and semi glazed partitioning throughout. New WCs as well and air conditioning, lighting and ducting services have been introduced and the ceiling has been fitted with sprinklers throughout. The southern store is fully lined with dropped ceilings however likely retains the original King Post truss roof system above, as retained and exposed in the northern store¹. Partitioning in the northern store is glazed above 1800mm and enables interpretation of the roof beam and trusses. As with level 1, the floor is accessed via the concrete stair at the north east corner of the southern store and the space is divided by the central sandstock brick wall, with a central arched opening between the stores and additional opening to the stair hall.

As with the first floor, the English bonded brick construction of the façade is exposed in the northern store. The central wall is constructed in stretcher bonded sandstock brick. Single windows typically feature stone sills and flat arched timber and brick heads. The King Post truss roof is retained and exposed in the northern store and incorporates beaded edge boards within the gabled roof. Roof beams bear on stone over brick piers and at the openings where pulleys are retained, feature heavy timber beam and brace back to the main trusses. (Refer section 3.2.1 for construction details). Timber flooring is carpeted throughout (with the exception of the wet areas).

¹ The roof space was not inspected in the southern store as outlined in section 1.5

FIGURE 23 – SECOND FLOOR/ LEVEL 2 PLAN



SOURCE: CONSULTING SURVEYORS DENNY LINKER AND CO, PLAN SHOWING INTERNAL DETAILS AT LEVEL 2, NO. 5-7 YOUNG STREET SYDNEY, DWG 120502 DATED 31/07/2012

FIGURE 24 – LEVEL 2 VIEWS SHOWING CONTEMPORARY PARTITIONING, FALSE CEILINGS AND SERVICES



VIEW EAST ALONG THE HALL TO CLASSROOMS (AT RIGHT) AND WCs (AT LEFT) (SOUTHERN STORE) SHOWING CONTEMPORARY FIT OUT AND FINISHES



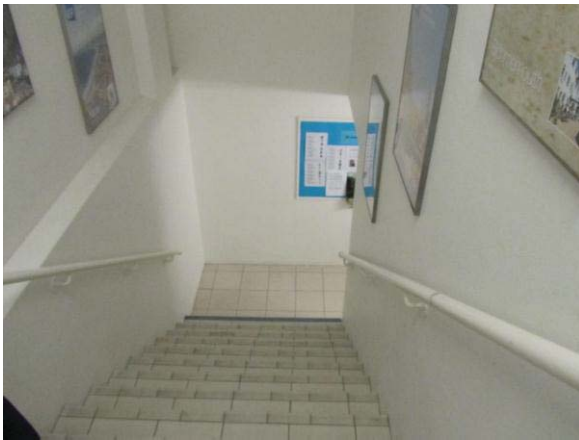
VIEW NORTH FROM THE SOUTHERN STORE THROUGH THE ORIGINAL ARCHED ACCESS SHOWING CONTEMPORARY FIT OUT AND FINISHES.



CLASSROOM AT THE SOUTHWESTERN CORNER OVERLOOKING LOFTUS LANE. THE CENTRAL ARCHED WINDOW/ FORMER LOADING BAY HAS BEEN PARTIALLY INFILLED REPLACED WITH A SMALLER WINDOW (RIGHT), BISECTED BY THE CLASSROOM PARTITIONING



CLASSROOM AT THE WESTERN END OF THE SOUTHERN STORE. THE CENTRAL ARCHED WINDOW/ FORMER LOADING BAY HAS BEEN PARTIALLY INFILLED AND REPLACED WITH A SMALLER WINDOW (LEFT), AND BISECTED BY THE CLASSROOM PARTITIONING

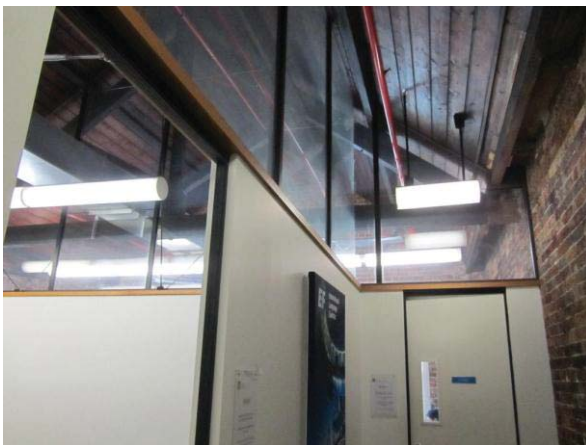


THE TILED CONCRETE STAIR CORE RUNS THROUGH THE BUILDING AT THE NOTHEAST CORNER OF THE SOUTHERN STORE



LEVEL 2 WC – CONSISTENT WITH INTRODUCED FACILITIES ON THE LOWER LEVELS

FIGURE 25 – LEVEL 2 - VIEWS OF THE NORTHERN STORE



VIEW EAST SHOWING CONTEMPORARY PARTITIONING (GLAZED TO ROOF LEVEL) AND THE GABLED KING POST TRUSS ROOF



VIEW WEST SHOWING CONTEMPORARY PARTITIONING AND SIGNIFICANT ROOF SYSTEM



THE EASTERN ELEVATION GABLE SHOWING STEEL REINFORCEMENT OF ARCHED BRICKWORK AND ROOF.



THE KING POST TRUSS ROOF, REINFORCED IN ASSOCIATION WITH THE EXTANT FAÇADE PULLEYS

Overall the condition of the fabric is good. The eastern wall of the northern store has steel brackets securing the gable to the brick structure and the brickwork of the arched window is similarly reinforced (refer Figure 25). The central arch in the central wall has failing mortar and missing joints (refer Figure 26). Overall the condition of the brick surface is noted as poor, having been aggressively cleaned to remove render consistent with the first floor. The new door opening in the central wall off the stair hall necessitated removal of one of the brick piers and some structural assessment may be required. Windows to the western elevation have been modified including replacement of timber frames with steel casement and partial infill of the central former loading bay.

FIGURE 26 – CONDITION OF FABRIC



THE CENTRAL ARCH BETWEEN THE STORES HAS MISSING MORTAR AND JOINTS AND REQUIRES SOME ASSESSMENT



DETAIL OF THE SANDSTOCK BRICK WHICH HAS BEEN DAMAGED IN CONJUNCTION WITH THE REMOVAL OF RENDER AND FINISHES



VIEW OF THE CENTRAL ARCH AND NEW OPENING TO THE STAIR HALL



DETAIL OF THE CUT BRICK PIER ABOVE THE NEW OPENING TO THE STAIR HALL.

3 History

3.1 HISTORICAL SOURCES

The following historical sources were consulted in the process of completing this CMP.

- City of Sydney Archives
- State Library NSW (Mitchell Library)
- Office of Environment and Heritage (Heritage Branch) Library
- Sydney Water Plan Room
- Land Titles, Land and Property Information.

Various online resources were also used; refer to the full bibliography and references provided in section 8 of this report.

3.2 THE WOOL INDUSTRY

The first Merino sheep were imported to Australia in 1796 by John Macarthur. The sheep were first kept at Pymont until 1805 when Macarthur was granted 10,000 acres at Camden Park and 30 convicts to assist in the production of fine wool. Wool was being exported to England by 1810. During the 19th century, Australia's most valuable export was wool and Australia became a force in the global market as world's largest merino wool exporter. Initially, most of the wool was shipped to London to be sold by brokers however by the latter part of the 19th century; most of the wool was sold at auction in Australia.

In the late 1850s, Sydney's wool auctions were in their infancy. Mort and Co. was the only firm selling wool by auction, the wool coming mostly from the smaller farms. Wool from the big estates was handled by the large mercantile firms of the day, who organised for shipping direct to England. Sydney public wool sales were minor affairs.² By 1864, some seven wool selling brokers were operating and Sydney was on the way to becoming the leading wool centre of the world although it would be several years before international wool buyers were attracted to the Sydney market.³ From the 1870s-1880s growth in the wool industry was relatively even, primarily as a result of increased wool production in NSW. It was at this time that Sydney began to rival Melbourne and Geelong as the most important colonial centre in handling wool, and also threatened the London market. State funded expansion of the railways facilitated the growth along with further state expenditure around Darling Harbour and growing real estate values around Circular Quay.⁴

Early wool stores and warehouses were located close to Circular Quay, although the later advent of the railway encouraged the development of stores in the Central/ Ultimo/ Pymont area and when goods handling later ceased in the Quay, (post 1890) stores largely moved into the Pymont peninsula. No other place in Australia ever possessed such a concentration of large buildings designed expressly for wool handling and storage⁵.

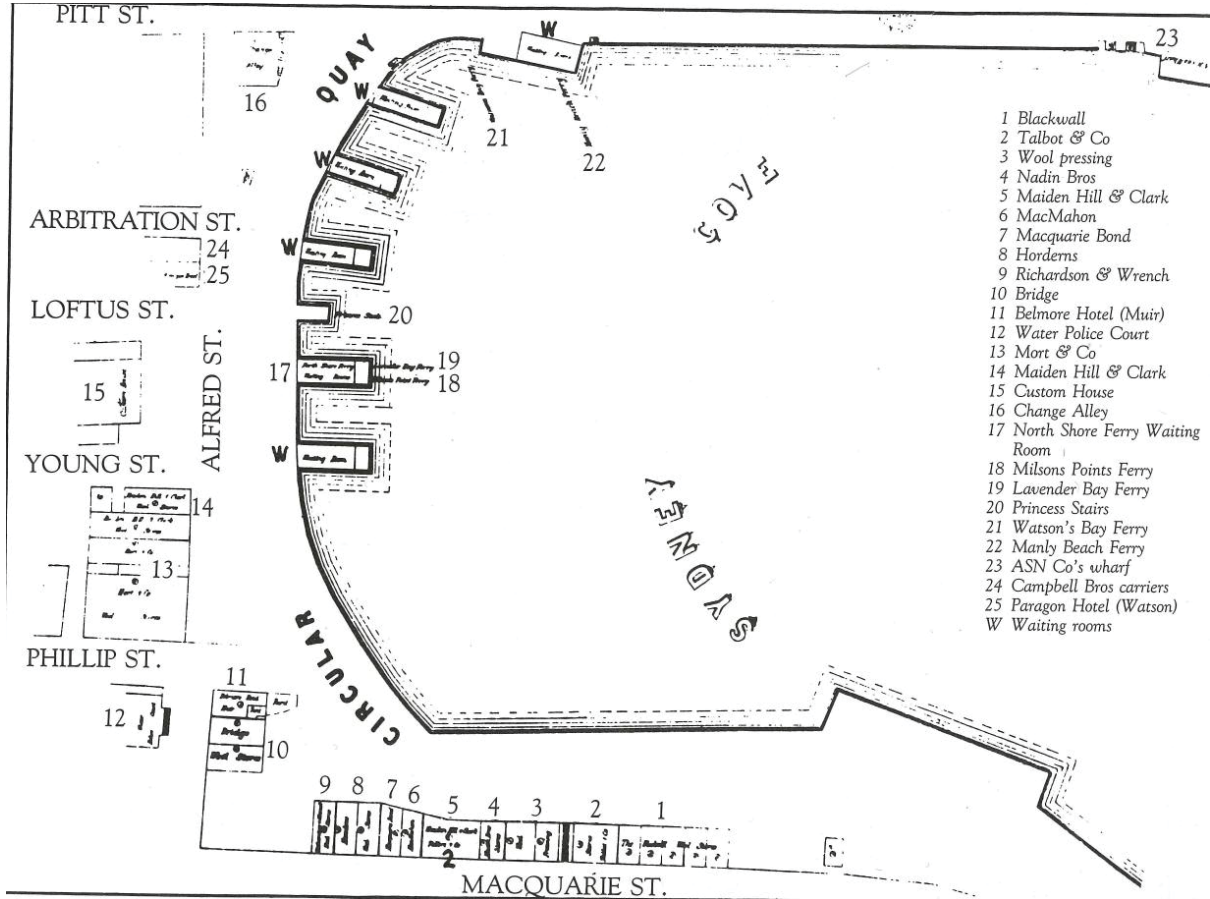
² Balint et al, 1982, 18

³ Ibid

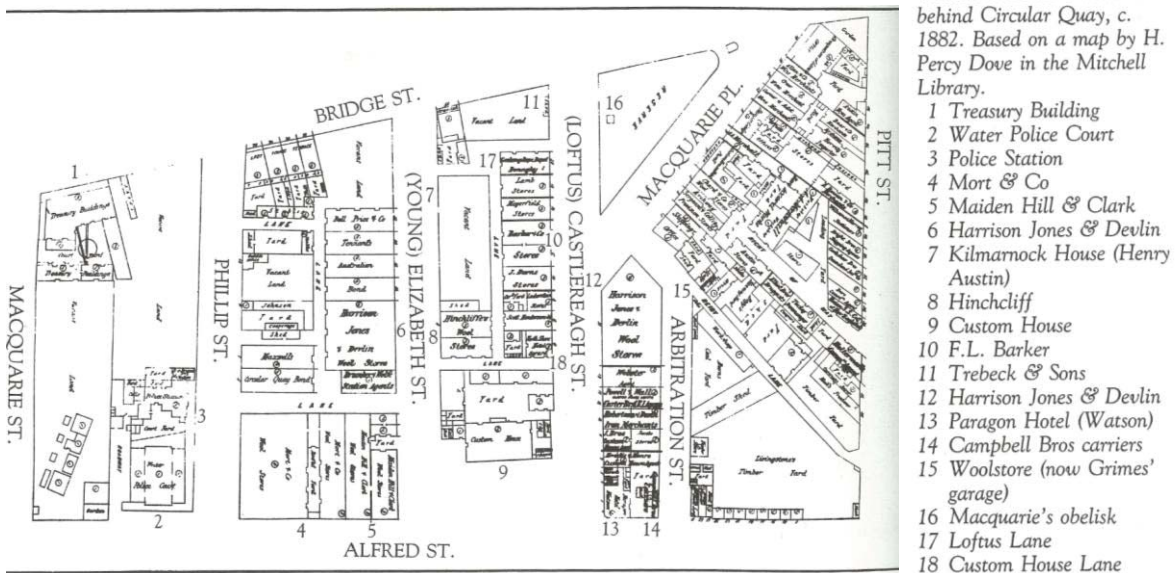
⁴ Anglin Associates 1989, pg 8

⁵ Ibid 27

FIGURE 27 – PLAN OF WAREHOUSES AND WOOL STORES IN AND BEHIND CIRCULAR QUAY



SOURCE: BALINT ET AL 1982; 50



SOURCE: BALINT ET AL 1982; 88

FIGURE 28 – VIEWS OF EASTERN CIRCULAR QUAY SHOWING THE FORMER STORES LINING THE QUAY



SOURCE: STATE LIBRARY NSW A089772R (CIRCA 1870)



STATE LIBRARY VICTORIA H20223, JUNE 1932

By 1890, the extent to which the wool industry had grown was evidenced by the shortage of space in the Darling Harbour Goods Sheds in the peak of the season. The trade was fast outgrowing the facilities provided for it; a great number of delivery clerks were required and up to 4000 bales could be delivered in a day.⁶ There were several reasons for the growing popularity of the Australian wool market; buyers in Sydney were able to get their wool earlier and moreover obtain the pick of the market. It was also forwarded direct from Australia to the manufactories, and thereby the heavy London charges could be avoided. Numbers of agents for foreign buyers were also increasing in Sydney.⁷

In 1830, the whole wool export from Sydney totalled 5,792 bales. In 1840 it had increased to 30,280 bales in 1870, to 115,694 bales; in 1880, to 199,875 bales; and in 1888 totalled about 400,000 bales, or double the amount of that exported in 1880⁸. Of course the production had increased, but sales had advanced in a much larger proportion. In 1850 Sydney sales amounted to about one-sixth of the total Australian export; while export in the year from July 1st, 1888, to June 30th, 1889, Sydney sales represented about fifty per cent of the whole output of the colony⁹. Australia had also been gradually absorbing the selling of our own wool instead of relying upon the English market.

FIGURE 29 – CARTING THE WOOL TO THE STORES (CIRCULAR QUAY)



SOURCE: STATE LIBRARY NSW, GOVERNMENT PRINTING OFFICE 1 – 08208 - A LOAD OF WOOL, CIRCULAR QUAY (WEIGHT 10 TONS, 16 CWT)

⁶ The Illustrated Sydney News, 'The Wool Industry of NSW, How Wool is Bought and Sold in Sydney', 09/01/1890, pg 14

⁷ Ibid 15

⁸ Ibid

⁹ Ibid

The process of buying and selling wool in Sydney in 1890 was documented in an Illustrated Sydney News Article as follows¹⁰:

From the Darling Harbour sheds the wool was carted to the various warehouses by Messrs. J. McMahon and Co., who were contracted for the service by the Government. On arrival at the store the wool was weighed. After weighing, the bales were placed in a lift or on a hoist, and deposited on an upper floor to await sale, a proportion of the bales having been first removed to the uppermost floor, devoted to samples. Once the wool is removed to the upper floor and the date of sale is fixed, a certain percentage of the whole is placed on the sample floor. In lots containing over fifty bales ten per cent, have to be exhibited ; under fifty and over twenty, fifteen per cent have to be exhibited and under twenty per cent, and in small .lots, the whole is required to be exhibited.

The bales are stood upon end in rows, so as to allow buyers to inspect them conveniently, and subjected to what is known as the cutting down process, which means that the sewing at the top of the bale is cut, all the twine is carefully removed, exposing the wool. Each bale is decorated with a tin label, upon which appears the number of the lot corresponding with that marked on the catalogue. Professional valuers, whose services are retained by the brokers, go round the samples and make independent estimates of the worth of each. A mean of these valuations being struck, it is entered on the auctioneer's catalogue as a reserve price. In some cases, owners put on their own reserves, which may be in excess of the valuation made by the professional.

Increasingly, wool in its natural state (referred to as 'greasy') was in greater demand. This was preferred to wool that was scoured or otherwise treated, as most buyers had their own preferences for its cleansing. Wool-classers judged the wool by length of staple, its elasticity, and by a number of other qualifications peculiar to their trade.

The sample floor is generally open to the inspection of buyers from 8am-3pm on the day of sale, and during that period the wool experts may be seen at work. With the exception of two, all the broking firms sell at the Exchange Sale Room (by auction). Payment is made either at the time instructions are given as to delivery, or in some cases it is shipped by the brokers and the ship's receipt is handed to the purchaser in exchange for his cheque. When freight is charged by space the size of the bale is subjected to 'dumping.' The bale is placed in a press worked by steam or hydraulic power, which compresses it to one-half its former measurements. Iron hoops are then placed around it, the ends being firmly riveted together.

The wool has thus passed through the hands of the sellers and the buyers, and is placed on board ship consigned either direct to foreign shores or to England.

In the 20th century, wool output slowed. The system of selling wool remained constant although was interrupted by the two world wars. Wool prices fluctuated in the 1920s and values dropped in the economic depression of the 1930s. In the late 20th century, changes in technology and increasing land prices led the larger wool brokers to abandon the inner city wool stores and operations moved to regional centres. Some have been adaptively reused while others remain disused. The majority of these building remained empty and fell progressively into disrepair.

3.2.1 BUILDING CONTROLS AND CONSTRUCTION OF STORES

Laws regulating building in Australia had their genesis in English building laws. Formal building controls started in Australia in 1810 with Governor Macquarie's edict proclaiming authority in erecting a building. Later, the Sydney Building Act of 1837 identified rates and classes of buildings and regulated buildings, party walls and fire services and specified minimum standards of construction¹¹. The City of Sydney Improvement Act 1879 further improved provisions for constructions as well as health and safety. The Act also greatly extended the powers of the Municipality and provided for the establishment of the City of Sydney Improvement Board which was required to include professional architects and builders. As with the 1837 Act, minimum standards of construction were also specified under the Act and included rules for materials and construction of walls and footings (including minimum thicknesses for walls with

¹⁰ The following has been summarised from the Illustrated Sydney News article pp 13-16a (ibid)

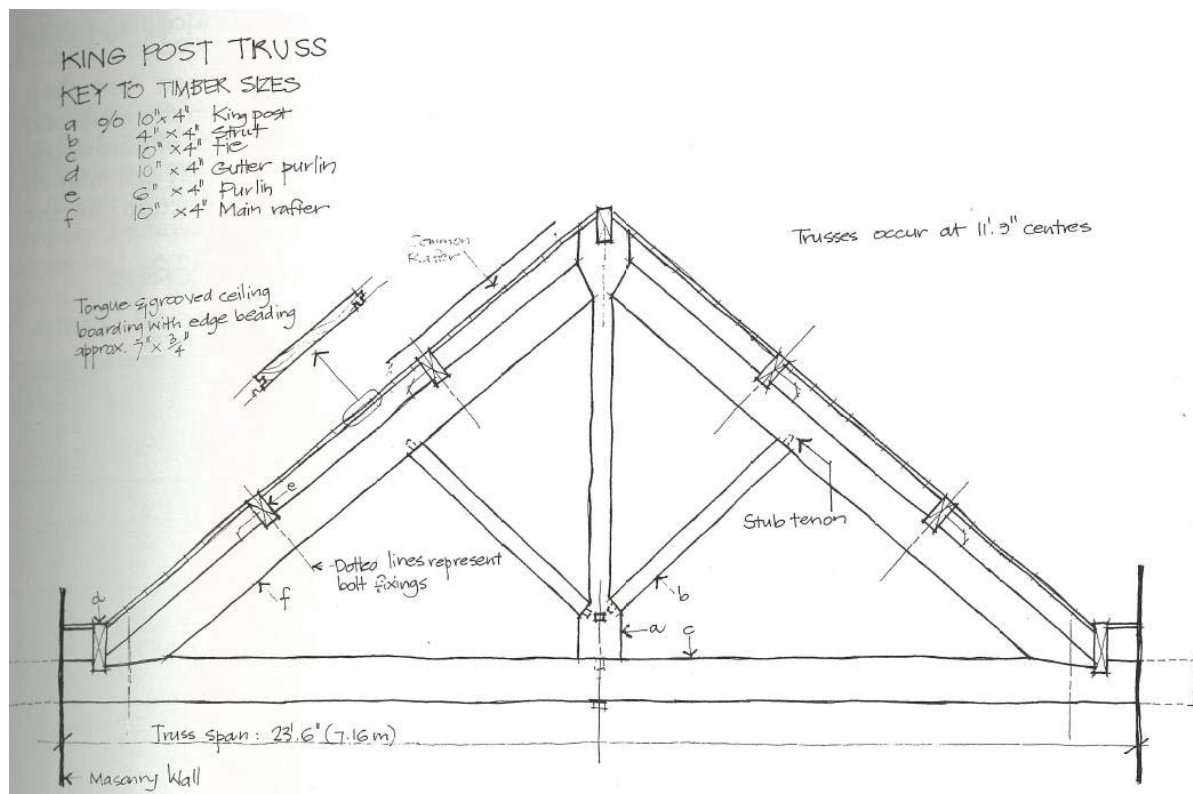
¹¹ Balint et al 1982, 51.

consideration for height and length), materials for roofing and drainage. In addition to the 1837 standards, the 1879 Act further stipulated requirements for room heights, ventilation and lighting for rooms.¹²

These building Acts formed the basis for the construction of warehouses and woolstores, particularly in the latter part of the 19th century. In addition to the provisions of the Act, the function of a building as a wool store, purpose built for the storage, display, receiving and transport of wool, largely determined its design. The wool stores had a typical floor plan consisting of a column grid defined by the layout of aisles and the storage of wool bales, which in turn dictated the location of window on the façade. The average bay size was 4.5 x 4.18m fitting the standard arrangement for the traditional wool bales.¹³

A study of historic commercial building construction techniques identified six distinct phases in warehouse and wool store construction.¹⁴ Most of Sydney's wool stores, including Hinchcliff were characterised as "Phase One" (1850-1918), which is typified by the use of load bearing stone or masonry external walls, simple timber roof trusses, and internal timber post and beam structures and timber floors¹⁵. Posts and main floor beams were typically constructed of Australian hardwoods such as grey ironbark (*Eucalyptus paniculata*), which were noted for their fire resistant qualities. Posts and floor beams were large; with generally a minimum width or depth of 360mm (330mm was the lower limit for main girders in warehouse loading)¹⁶. Posts are typically chamfered and herringbone struts brace the joists to give greater lateral stiffness. The King and later Queen post truss roof was typical of the early (phase one) warehouses. The King post truss supported spans of up to 9m and the resulting dimensions and form of the gabled façade became a characteristic type for the early stores. The type was readily able to be expanded, reflected in the two stage construction of the subject store.

FIGURE 30 – SKETCH OF THE KING POST TRUSS AT HINCHCLIFF



SOURCE: BALINT ET AL 1982: 59

While the early wool stores of phase one share the same characteristics of construction, differences in detail are discernible. In the better built wool stores the floor joists were fully housed into the principal

¹² Ibid 53-4.

¹³ Anglin Associates op.cit, 33

¹⁴ Balint 1977

¹⁵ Ibid: 47

¹⁶ Balint et al op.cit 1982, 79.

floor beams. More typically they were notched into the floor beams (as they are at Hinchcliff). Most of the post and beam stores featured herringbone struts. The connection of storey post and beams also differs slightly in various wool stores. At Hinchcliff the beams sit directly on top of the storey posts and the posts do not connect to the storey post on the floor above. Changes in window construction also occurred throughout the period; in the earlier wool stores window heads were constructed of semi-circular or segmental brick arches. Others were supported by I beams¹⁷.

3.3 HISTORICAL OVERVIEW – 5-7 YOUNG STREET

3.3.1 THE FORMER GOVERNOR'S DOMAIN

The subject site was formerly part of the grounds of the First Government House which was built soon after the arrival of the First Fleet. In a plan of the Governor's Domain dating to 1816, the area of the subject site is shown within a "Pleasure Ground" located between First Government House and the shore (Figure 31). As part of the Governor's Domain, the subject site remained largely undeveloped until after the new Government House was built and the First Government House was dismantled in 1845.

FIGURE 31 – PLAN OF THE GOVERNOR'S DOMAIN 1816 SHOWING THE SITE AS PART OF THE PLEASURE GROUNDS



PLAN OF GOVERNORS DEMESNE LAND / SURVEYED IN THE YEAR 1816 BY C. CARTWRIGHT.

SOURCE: MITCHELL LIBRARY ML M3 811.172/1816/1

3.3.2 EARLY LAND GRANTS AND OCCUPATION

Early mapping of Sydney Cove indicates development in the vicinity of Customs House as early as 1845 and the subject site is shown as subdivided although not yet developed in the Woolcott and Clarke plan of 1854 (refer Figure 33 below).

¹⁷ Balint 1977: 142

FIGURE 32 – 1845 PLAN OF SYDNEY COVE



1845 PLAN OF SYDNEY COVE SHOWING CUSTOMS HOUSE, CASTLEREAGH STREET AND DEVELOPMENT IN THE VICINITY OF THE SUBJECT SITE, BEHIND CUSTOMS HOUSE

SOURCE: CITY OF SYDNEY ARCHIVES: FRANCIS W SHEILDS PLAN OF SYDNEY, 1845

FIGURE 33 – 1854 PLAN SHOWING THE SITE AS SUBDIVIDED BUT UNDEVELOPED



SOURCE: CITY OF SYDNEY ARCHIVES 1854 WOOLCOTT AND CLARKES MAP OF SYDNEY

The site comprises allotment 12 of Section 103, originally granted to Thomas Woolley by Crown Grant 13th June 1853 and allotment 13 of section 103 originally granted to Thomas Holt Junior by two deeds of grant dated 13/06/1953 by Governor General Sir Charles Augustus Fitzroy. Holt had acquired the southern (lot 12) by 1863.

Holt was born in Horbury in Yorkshire in 1811, the eldest son of Thomas and Elizabeth Holt. Holt senior was one of the oldest and most respected wool merchants and manufacturers in Leeds.¹⁸ Holt went to work in his father's business and was admitted as a partner. He worked in London as a wool-buyer and later represented the Leeds House in the wool markets of the Continent, commencing in Spain¹⁹.

¹⁸ Holt, 1972, pg 3

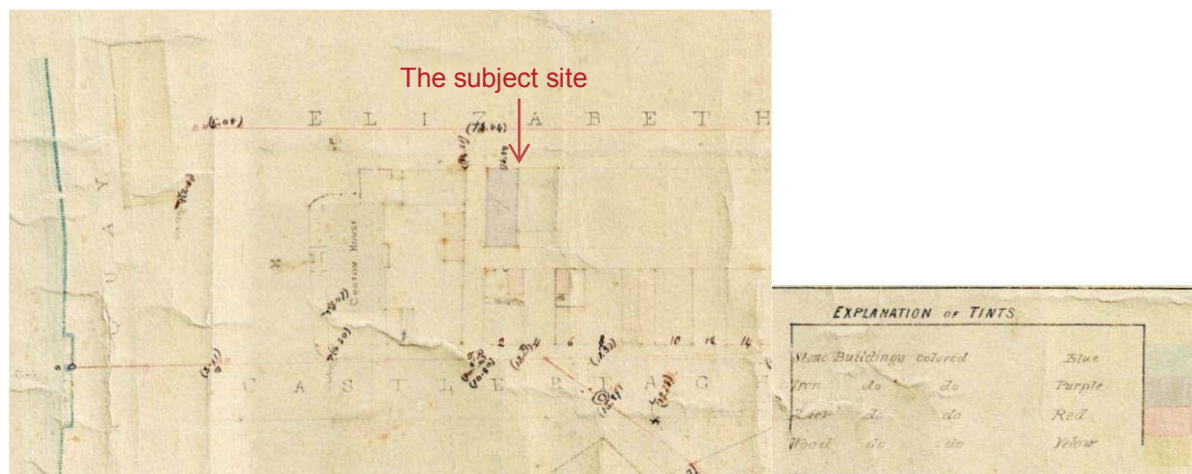
¹⁹ Ibid

Holt's partnership in the business dissolved when his father retired in 1842, by which time Australian wool was making its mark on the world market and the potential of the colony for pastoral and agricultural industries was increasingly recognised. Holt and his wife sailed for Australia aboard the *Helvellyn* in 1842. Upon arrival, Holt invested modest capital in property in Raymond Terrace, Liverpool, Wollongong and Sydney, including an acre of land in Pitt Street. He was made a magistrate and as one of Sydney's most prominent financiers was a foundation director and member of several gold-mining, insurance (including the Australian Mutual Provident (AMP) Society) and railway companies.

Holt commenced business as a wool merchant with a two storeyed wool and general store two houses below the Haymarket known as 136 George Street South²⁰. He also had a small dwelling house which adjoined the store. His first export of 31 bales was consigned to England aboard the *Hindoo* in August 1844²¹. Invitation to do business was typically inserted in daily newspapers. Holt retired from the wool business in 1854 following a fire which destroyed his George Street store.

As noted above, the northern lot 13 of the subject site was granted to Holt in 1853 and he had acquired the southern (lot 12) by 1863. The 1856 City Detail Sheet (Figure 34) records the subject site as occupied by two structures of iron and stone construction. Holt's allotment is recorded in the 1858 City of Sydney Assessment Book as occupied by Ed Joy and Co Store and offices. The site had a rated value of £100 and was noted as single storey, constructed of iron and wood with two rooms. The site was also recorded in the Sands Directory of the same year, listed as Joy and Co Merchants on what was then known as Elizabeth Street North. Early advertisements indicate that Ed Joy and Co worked in partnership with Andrew Hinchcliff, woolbroker for A. Hinchcliff & Sons. The partnership was dissolved in 1862 and Hinchcliff continued to operate at the subject site.²² Hinchcliff also leased a house from Thomas Holt in Hay Street.²³

FIGURE 34 – C.1856 PLAN OF THE SITE AND CUSTOMS HOUSE



SOURCE: CITY OF SYDNEY ARCHIVES, CITY DETAIL SHEETS, 1855 - SHEET_04

3.3.3 THE HINCHCLIFF WOOLSTORE (C.1863- 1945)

From 1845, Andrew Hinchcliff, reputedly one of the best judges of Australian wool then living²⁴, formed a large and lucrative business operating in a dual capacity as a buyer and shipper of wool. Wool-selling brokers formed the link between the producers and the buyers who were the agents of the textile mills and Hinchcliff was a professional speculator, acting on behalf of principals in England. Hinchcliff also established extensive scouring works at Waterloo. In 1864 John Hinchcliff, his only son, joined his father

²⁰ Ibid 17

²¹ Ibid

²² "Advertising." *Empire* (Sydney, NSW : 1850 - 1875) 2 Sep 1862: 1. Web. 8 Nov 2012 <<http://nla.gov.au/nla.news-article60480381>>.

²³ City of Sydney Assessment Books, Philip, (recorded in entries in 1855 and 1856).

²⁴ *The Illustrated Sydney News*, 'The Wool Industry of NSW, How Wool is Bought and Sold in Sydney', 09/01/1890, pg 16

in the trade and in 1882, on his father's death, became senior partner. The firm thereafter conducted as A. Hinchcliff, Son and Co. and became widely and favourably known as one of the oldest and largest firms connected with the wool trade of New South Wales²⁵. Between twenty and thirty thousand bales of wool passed annually through the firm for consignment to their London agents, the well-known firm of Edwin Holt and Co., of Leeds and London²⁶, although they also conducted local sales on behalf of the growers.

It is likely that Hinchcliff had traded at the subject from at least 1858 (in partnership with Ed Joy and Co. as identified above) and the site was purchased by Andrew Hinchcliff in 1876. Ownership passed to son John, on his death.

FIGURE 35 – THE HINCHCLIFF WOOL STORE C.1880, SHOWING THE SOUTHERN STORE AND FORMER IRON STORE (C.1856)



BALINT NOTES THAT THE FIGURES IN THE FOREGROUND ARE ANDREW HINCHCLIFF AND HENRY AUSTIN
SOURCE: STATE LIBRARY A6072001

The subject store was constructed in two stages as indicated in the circa 1880 view of the site at Figure 35. The southern section was built first, and has been dated as early as 1865, however while the site was certainly developed at this time, the City of Sydney Assessment Books indicate that this may refer to a previous stage of development.

The first recorded entry of the Hinchcliff Wool Store in the Sands Directory was in 1864. It was recorded as 1-3 Elizabeth Street North. The City of Sydney Assessment Book records the site in 1867 as occupied by stone and iron structures consistent with the City Detail survey above (Figure 34). The wool stores had a rated value of £100 each however both were noted as single storey. The 1871 Assessment Book entry again records the site as occupied by single storey structures, although the northern store is instead noted as being of stone and iron construction and the two properties are accorded a lesser rated value of £60 and £80 respectively. By 1871 Hinchcliff had leased the adjoining allotment (known as 5 Elizabeth

²⁵ Ibid

²⁶ Ibid

Street North) which incorporated a timber and iron stables (refer Doves 1880 plan at Figure 36) and by the late 1870s had also purchased a second store on Castlereagh Street North (later known as 20 Loftus Street). Elizabeth Street North was renamed Young Street by 1896.

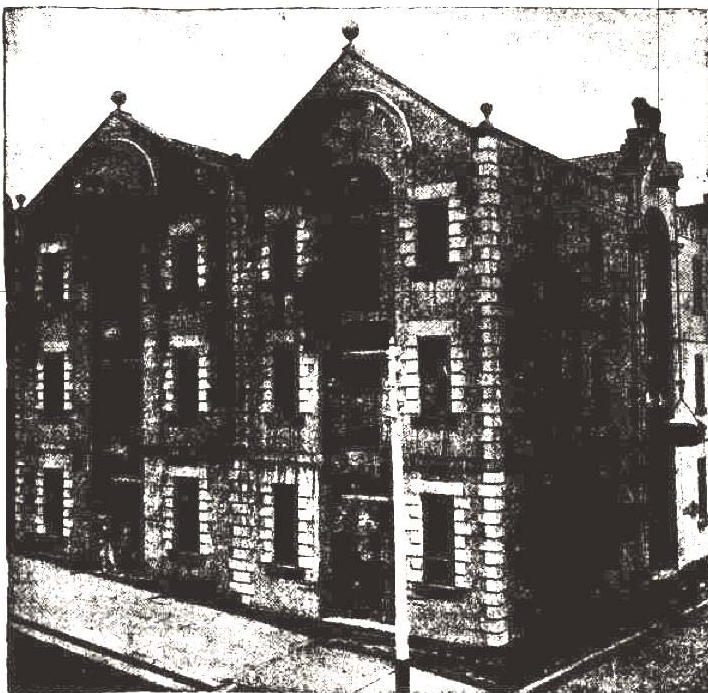
FIGURE 36 – PLAN OF THE SUBJECT SITE CIRCA 1880 SHOWING THE STONE, AND IRON STORES, AND REAR STABLES



SOURCE: CITY OF SYDNEY ARCHIVES, DOVES PLANS OF SYDNEY, 1880 – BLOCKS 1-4 – PINK DENOTES BRICK OR STONE BUILDINGS WHILE BLUE DENOTES IRON AND BROWN, TIMBER.

The southern store (7 Young Street) was certainly constructed by 1880 and is recorded in the Assessment Book of the same year as a three storey brick and stone structure with slate roof, rated at £200, double the previous valuation. This is consistent with Dove’s 1880 plan which also records the site as three storeys. The northern store was completed two years later, matching the southern store. The architect or builder of the stores is unknown.

FIGURE 37 – THE WOOL STORES (1890)



HINCHCLIFF, SON & CO.'S WOOL WAREHOUSE, CIRCULAR QUAY.

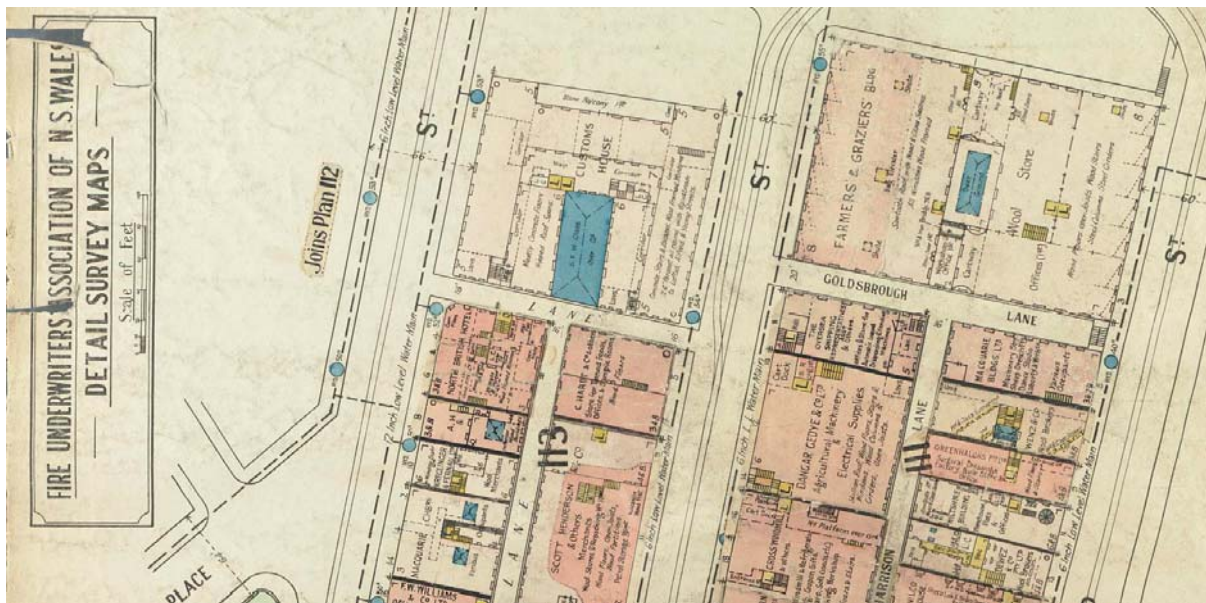
SOURCE; THE ILLUSTRATED SYDNEY NEWS, 'THE WOOL INDUSTRY OF NSW, HOW WOOL IS BOUGHT AND SOLD IN SYDNEY', 09/01/1890:15

The stores were built in the vernacular Victorian Georgian style, approximately 7.6m wide, of characteristic external load bearing masonry walls, King post timber roof trusses, and internal timber post and beam structure and timber floors (refer diagram of King post truss at Figure 30).

John Hinchcliff was appointed as a Director of the Commercial Union Assurance Company (now CGU Insurance) in 1880 and also served as an Alderman of Strathfield Council from 1889 to 1895 and Mayor in 1890 and 1892. In 1887, Hinchcliff built 'Mount Royal', one of the grandest mansions in Strathfield, (now part of the campus of the Australian Catholic University) the tower of which was reportedly designed to allow Hinchcliff to view ships as they arrived in Sydney Cove²⁷. Hinchcliff initially purchased the land as a joint tenant with F.L Barker, who built and operated the nearby woolstore on Loftus Street (now the Gallipoli Club at 12-14 Loftus Street).²⁸ Finance for the land and mansion was provided by Hinchcliff's wife, Laura Ann Hinchcliff²⁹. The house was designed by Harry Chambers Kent, a well-known Sydney Architect, also noted for his design of the Farmers and Graziers Woolstores in Ultimo in 1895.

Following the economic downturn of the 1890s, the wool industry was one of the hardest hit and John Hinchcliff died at Mount Royal in 1895, heavily in debt. Ownership of the Hinchcliff store transferred to Summer Hill Barrister, Joseph William Dixon in 1894³⁰. Dixon was the husband of Edith Annie Owen, the adopted daughter of Andrew Hinchcliff. He retained ownership of the store until 1903³¹ when it was purchased by Harry Scarth Holt, wool broker³².

FIGURE 38 – C. 1917-1939 PLAN OF THE COVE AND SITE



SOURCE: CITY OF SYDNEY ARCHIVES: FIRE UNDERWRITERS' PLANS, CA 1917-1939 – BLOCK 113 (PART VIEW)

Harry Holt sold the store to Robert Lee, a Sydney Woolbroker, in 1926. Lee appears to have been in financial hardship as he was recorded as in arrears of payment for Federal Land Tax in 1931, for which payment was made in 1935³³. In 1937, the Bank of NSW, exercising powers of leasing (as the mortgagor), leased the property to Fritz Hardt, a German woolbroker, in conjunction with a wool buying company from Killara.³⁴ The store is recorded in the Fire Underwriters plan (variously dated between 1917-1939) as being occupied by C.Hardt and Co. Lathers (Store for tanned foods, offices and sample rooms). The plan further notes that the store was three storeys, with wooden floors (refer Figure 38).

²⁷ Strathfield Heritage 2012 a

²⁸ Strathfield Heritage 2012 b

²⁹ Ibid

³⁰ LPI Volume 1 Folio 84

³¹ Ibid

³² Any connection to Thomas Holt has not been established

³³ LPI Volume 2628 Folio 234 (1915)

³⁴ Ibid

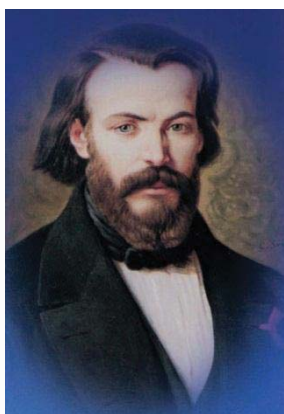
The lease expired in 1945 when the Bank of NSW exercised power of sale and sold the wool store to the Trustees of the Roman Catholic Church for the Archdiocese of Sydney. They in turn sold the property to the Trustees of the Superior Council of Australia of the Society of St Vincent de Paul. This was the end of the original wool store use.

3.3.4 THE SOCIETY OF ST VINCENT DE PAUL (1945-1988)

The Society was founded by French scholar Frederic Ozanam in 1833. At this time, Paris was in the grip of social upheaval following on from the 1788-1799 revolution and the 1830s collapse of the old Monarchy. Large slum areas were forming in Paris and homelessness, disease, and starvation were common. Preoccupied by the question of the relevance and the apparent decline of the Catholic Church as well as its contribution to the growing population of the poor, Ozanam and his companions determined to establish what they called a "Conference of Charity".³⁵ The first historic meeting of the Conference was on April 23rd 1833 was presided over by Catholic layman Emmanuel Bailly and included 6 students aged between 19 and 23; with Ozanam among them. The small group decided to adopt the name The Society of St Vincent de Paul after the Patron Saint of Christian charity and resolved to respond to Christ's call by dedicating themselves to the poor after the example of 'Monsieur Vincent'.³⁶

By 1834 the Conference had 100 members and it became necessary to split the group into three separate conferences. By 1835, Conferences had been established in Lyon, Nimes and Rome. The first Australian Conference was founded at St Francis' Church in Melbourne on March 5th 1854. The inaugural conference in NSW was the St Patrick's Church Hill Conference held on the 24th of July 1881.

FIGURE 39 – PORTRAIT OF FREDERIC OZANAM, FOUNDER OF THE ST VINCENT DE PAUL SOCIETY



SOURCE: ST VINCENT DE PAUL
[HTTP://WWW.VINNIES.ORG.AU/FREDERIC-OZANAM-VIC](http://www.vinnies.org.au/frederic-ozanam-vic)

The former Hinchcliff wool store was purchased by the Society of St Vincent de Paul on the 1st of September 1949 although they had partially occupied the premises as early as 1945.

Initially the site operated as the Catholic United Services Australia (C.U.S.A) Navy Club, which was conducted by the Catholic Club for seafarers under the auspices of the Society of St Vincent de Paul. They provided café and club facilities for members of the Royal Australian Navy, and visiting personnel from other countries when in Sydney. The club was open every night and staffed by Catholic volunteers who prepared and served meals and provided Christian entertainment.³⁷ Club rooms were located on the ground floor, with dining room and kitchen in the northern store. The premises were occupied by the CUSA as Navy Club rooms until 1949 and as offices, packing and dispatch store (ground floor) and café until 1950. By 1951 the Society had outgrown its former administrative headquarters at Hosking Place and the Offices of the Secretariat moved to Hinchcliff following further alterations. The stores were renamed Ozanam House in honour of the founder. From 1952 the site also housed the Matthew Talbot Hostel for destitute men.

³⁵ Kevin Slattery, 2003, Blessed Frederic Ozanam, a Life in Outline, published by St Vincent de Paul Society Victoria, pg 5

³⁶ Ibid.

³⁷ Society of St Vincent de Paul, Particular Council of Sydney, 70th Annual Report, Year ended December 31st, 1950, pg

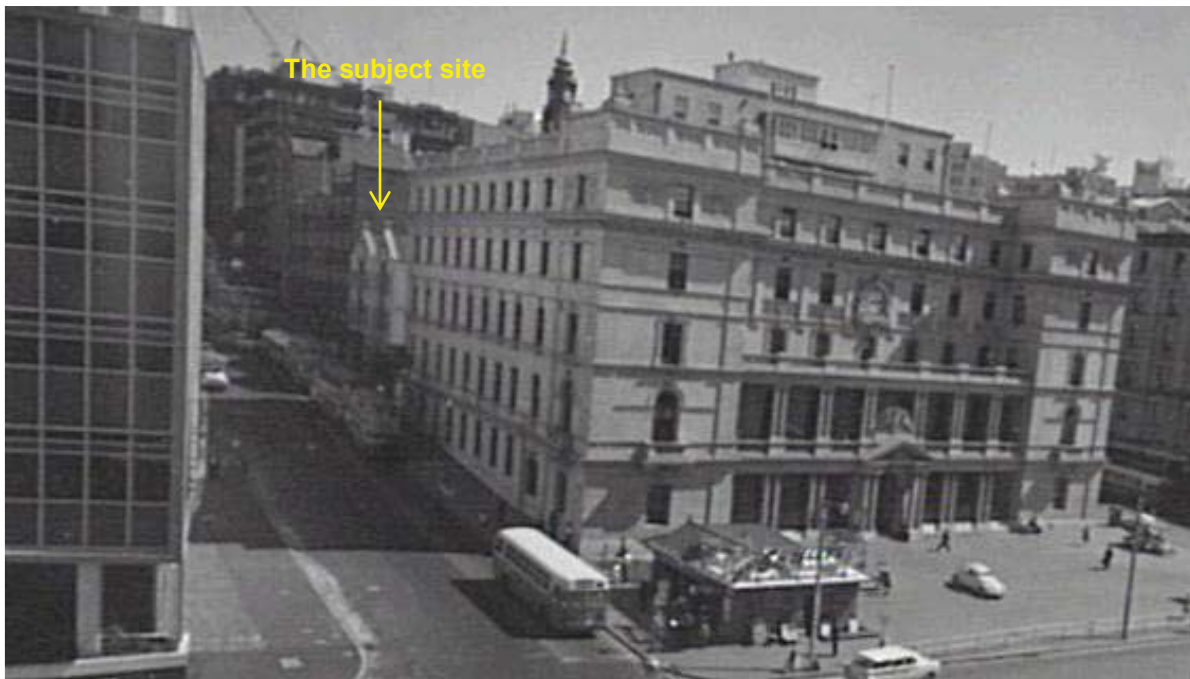
City of Sydney Town Clerks correspondence files note that the Society commenced occupation of the whole of the premises for their activities on the 29th of June 1951. Exemption from paying City Council rates was noted from this date forward, due to the Societies status as a public charity and parts of the building were no longer able to be separately let. Part exemption was noted for the previous function as the CUSA Club Rooms³⁸. At this time, the Societies various charitable activities included operating and administering the following³⁹:

- St John of God Training Centre for Training of sub-normal boys (located at Morrisett)
- Matthew Talbot Hostel for aged and destitute men (formerly located at Kent Street)
- St Vincent's Homes for Working Boys (4 centres within the Metropolitan Area)
- Maternal Heart Conference of the Society
- St Vincent's Home for Boys at Westmead
- St Anthony's home for Infants located at Croydon
- The Catholic Navy Club (at the subject site)
- St Edmund's Home for Blind Boys (Wahroonga)
- The Chaplains to Migrants
- Committees which control and direct the activities of other various works of the Society including the Hospital Visitation committee, the Orphan's Entertainment Committee and the Vincentian Welfare stores.

3.3.4.1 THE MATERNAL HEART OF MARY MARIST CHAPEL (CIRCA 1966)

In the mid-1960s the St Vincent de Paul Society made part of the ground floor available at a nominal rent for use by the Marist Fathers as a chapel. The ground floor of 5 Young Street housed the Maternal Heart of Mary Marist Chapel until at least 2005. In its heyday up to 1000 people were said to visit the chapel on a regular weekday.⁴⁰ The Chapel was serviced by staff from St Patrick's however in its latter years, attendance had diminished and its long-term viability was questioned.

FIGURE 40 – VIEW SOUTH ALONG YOUNG STREET FROM CAHILL EXPRESSWAY WITH THE SUBJECT SITE INDICATED



SOURCE: CITY OF SYDNEY ARCHIVES SRC5013 (C.1960S)

³⁸ Minute Paper 5/7 Young Street – Society of St Vincent de Paul – Exemption from Rating, 23/01/1952, Town Clerks Correspondence File 5295/49

³⁹ Statutory Declaration of Henry Morrissey, 20/12/1951, Town Clerks Correspondence File 5295/49

⁴⁰ The Catholic Weekly, Catholic News from Australia and the World, 'Reprieve for Chapel in the City' by Marilyn Rodrigues, 24/04/2005

3.3.5 AUSTRALIAN MUTUAL PROVIDENT (AMP) SOCIETY

AMP purchased the former Wool Store in 1988. From 1992 they leased the ground, first and second floors to the E. F International English School, who undertook further internal alterations for their new fit out. The Marist Chapel on the ground floor continued to operate rent-free on a month-to-month basis until 2005 when it was proposed to incorporate the chapel space as part of the language school function.⁴¹ Following protest, the Chapel was given a temporary reprieve and the month to month arrangement continued.

At present (2012), the language school continues to operate at the site while the former Chapel is disused.

3.3.6 PROPERTY OWNERSHIP

The below table records ownership of the site, as recorded in Land and Property Information (LPI)/ land title documentation

TABLE 1 – PROPERTY OWNERSHIP

DATE	PROPERTY OWNER	SOURCE
1853-1863	The site comprises allotment 12 of Section 103, originally granted to Thomas Woolley by Crown Grant 13th June 1853 and allotment 13 of section 103 originally granted to Thomas Holt Junior by two deeds of grant dated 13/06/1953 by Governor General Sir Charles Augustus Fitzroy.	LPI Volume 1 Folio 84, Volume 2628 Folio 234
1863-1876	Thomas Holt Junior	LPI Volume 1 Folio 84
1876-1883	Andrew Hinchcliff (wool broker) (deceased 1882)	LPI Volume 1 Folio 84
1883-1894	John Hinchcliff (wool merchant)	LPI Volume 1 Folio 84
1894-1916	Joseph William Dixon (Barrister)	LPI Volume 1 Folio 84
1903-1926	Harry Scarth Holt (wool broker)	LPI Volume 1 Folio 84 LPI Volume 2628 Folio 234
1926-1945	Robert Lee (Sydney Wool broker)	LPI Volume 2628 Folio 234
1945-1949	Trustees of the Roman Catholic Church for the Archdiocese of Sydney	LPI Volume 2628 Folio 234
1949-1988	Trustees of the Superior Council of Australia of the Society of St Vincent de Paul	LPI Volume 2628 Folio 234
1988- Current	Australian Mutual provident (AMP) Society	RP Data

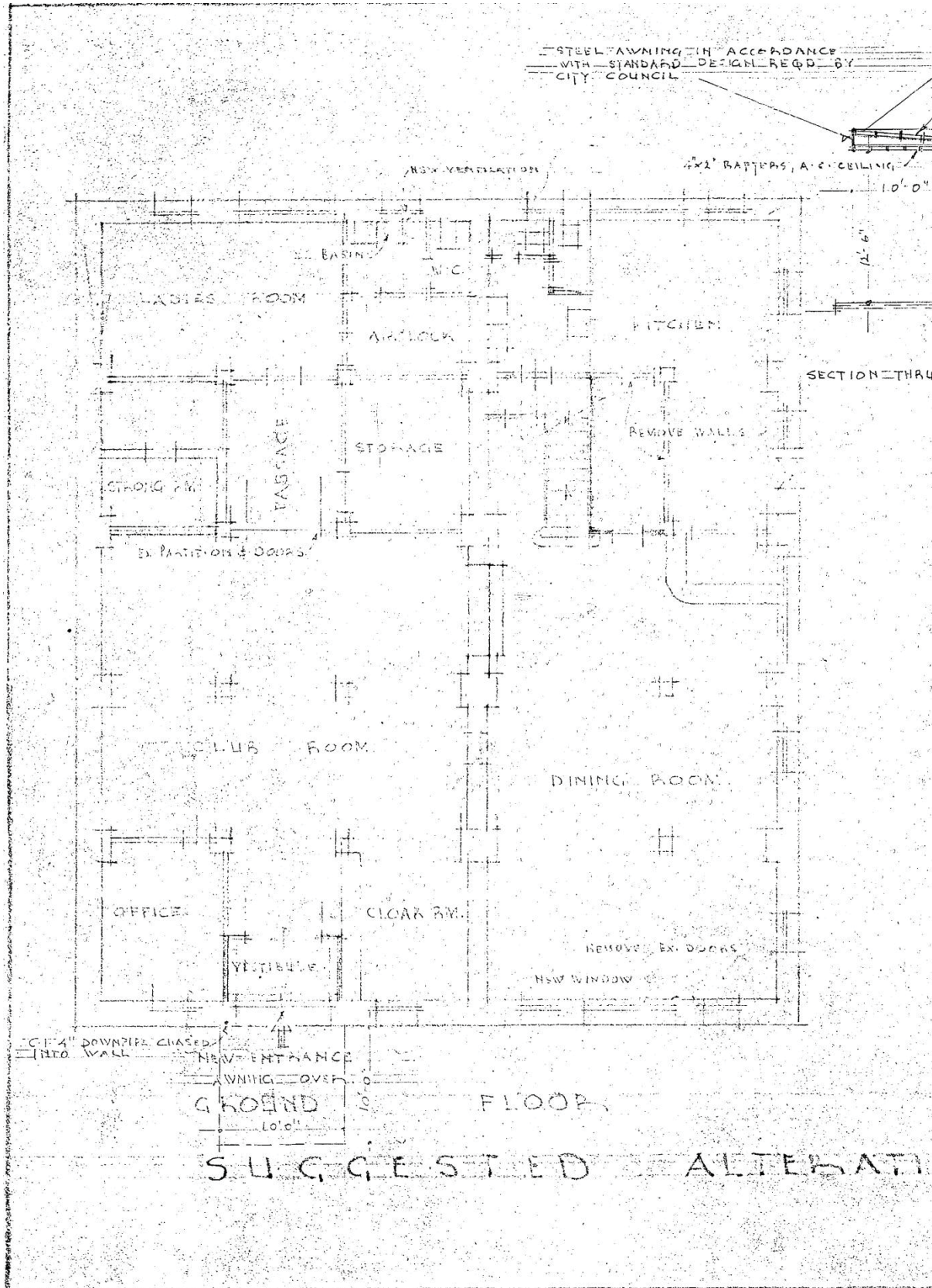
3.3.7 ALTERATIONS AND ADDITIONS

In 1945 the site housed the C.U.S.A Club Room and offices and incorporated the Club Room, Dining room and kitchen, a ladies room and parlour on the ground floor, a Chapel on the first floor and proposed dormitory, caretakers room and bathroom facilities on the second floor. An application (BA0599/45) was approved for works to the former store and included a new awning, some modifications to windows and doors, some demolition of internal partitioning and removal of some of the original timber beams, new ventilation services and provision of a new stair (refer Figure 41 below). It is not known whether the works were undertaken however the proposed stair at least was not built. Works were designed by architect

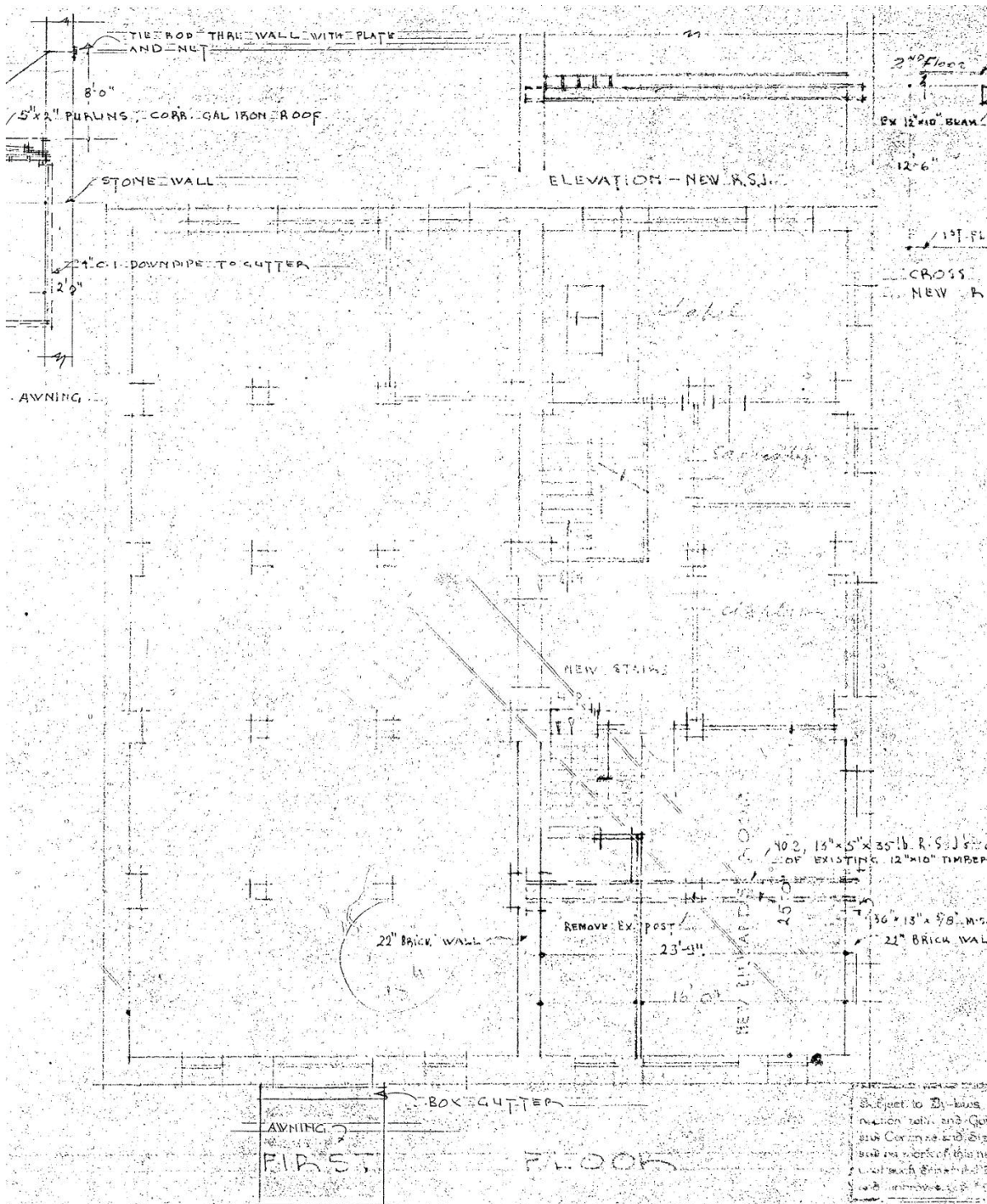
⁴¹ Ibid

Louis P. Burns who undertook a number of small renovations at the site for the Society of St Vincent de Paul in the 1940s.

FIGURE 41 – 1945 PLAN OF ALTERATIONS TO THE C.U.S.A CLUB.

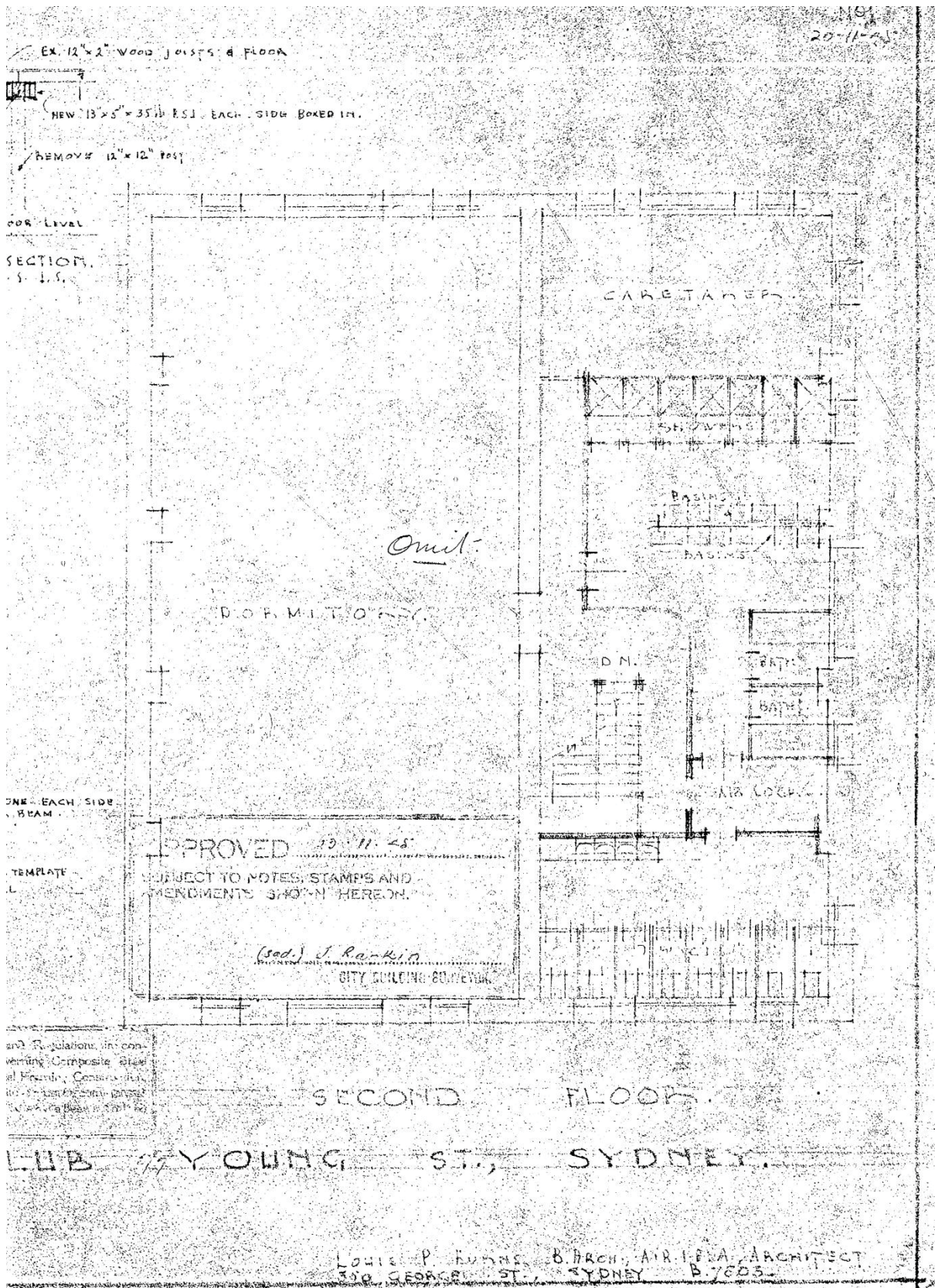


SOURCE: CITY OF SYDNEY ARCHIVES BUILDING APPLICATION PLANS 0599/45 – GROUND FLOOR



AWNING TO THE C.I.S.A. NAVY C

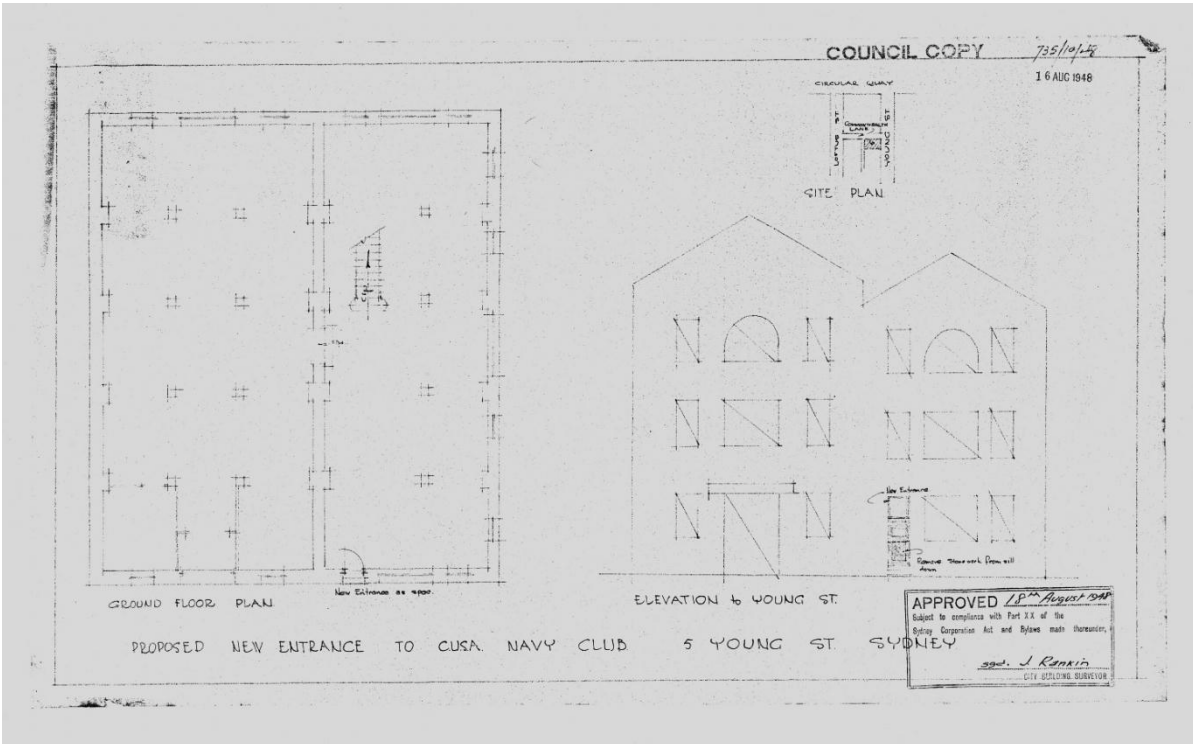
SOURCE: CITY OF SYDNEY ARCHIVES BUILDING APPLICATION PLANS 0599/45 – FIRST FLOOR



SOURCE: CITY OF SYDNEY ARCHIVES BUILDING APPLICATION PLANS 0599/45 – SECOND FLOOR

A new entry was added to the eastern Young Street façade of the northern store (no.5) in 1948. The opening extended an existing window opening and included the removal of the stonework from the sill down to the street level.

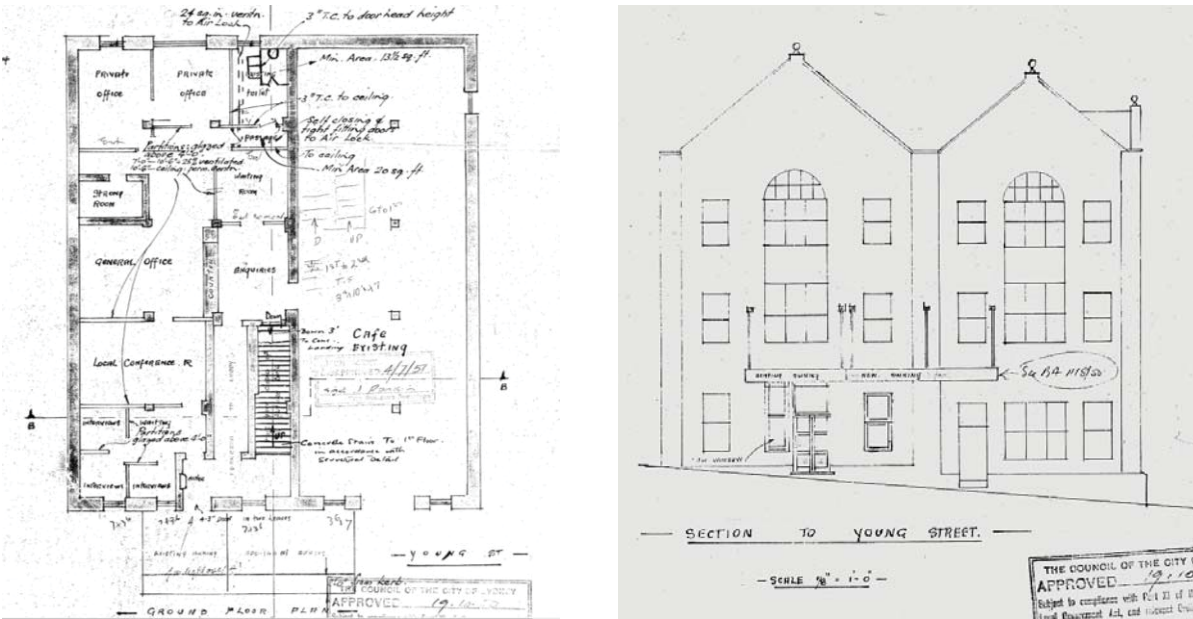
FIGURE 42 – 1948 GROUND FLOOR PLAN AND YOUNG STREET ELEVATION



SOURCE: CITY OF SYDNEY ARCHIVES, BUILDING APPLICATION PLANS 0735/48

A new awning was provided in 1950, matching the previous structure. A new reinforced concrete stair had been constructed by this time (the extant stair) and the original stair (as shown in the 1948 plan at Figure 42 above) had been removed. Further works were undertaken to extend the new stair in 1950, in conjunction with compliance. The DA also included works to the ground floor including partitioning for offices and provision of a new window adjacent to the entry on the Young Street façade on the southern store in conjunction with interim DA approval 100/50 (refer Figure 43 below). A new lift was also proposed but not built. Works were undertaken by builder H.A Taylor.

FIGURE 43 – 1950 PLAN OF ALTERATIONS AND ADDITIONS TO THE FAÇADE AND GROUND FLOOR



GROUND FLOOR PLAN SHOWING NEW PARTITIONING FOR OFFICES

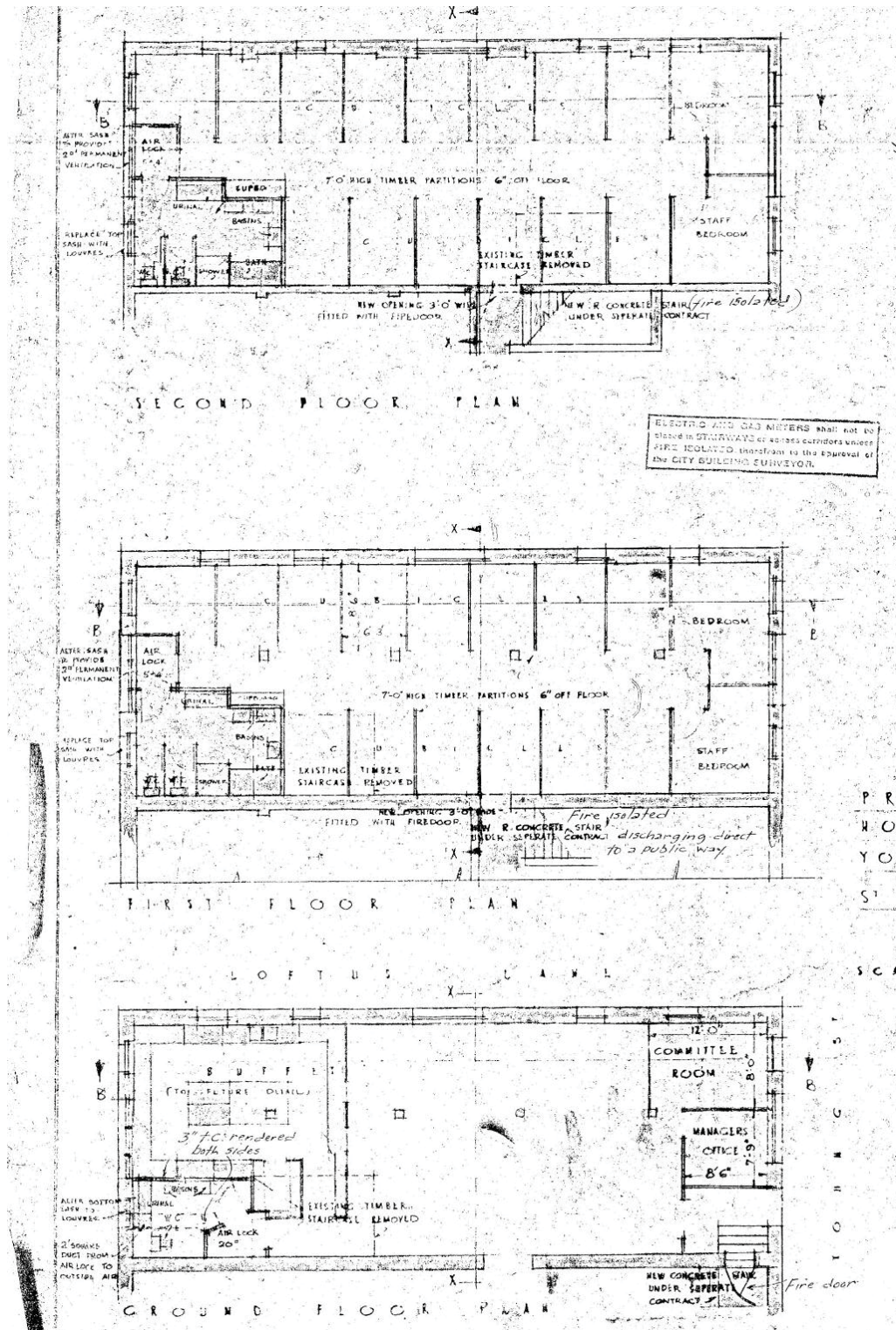
SOURCE: CITY OF SYDNEY ARCHIVES, BUILDING APPLICATION PLANS 1115/50

VIEW OF THE EASTERN/ YOUNG STREET ELEVATION SHOWING THE NEW WINDOW AND AWNING.

SOURCE: CITY OF SYDNEY ARCHIVES, BUILDING APPLICATION PLANS 1115/50

In 1952, an application was approved for conversion of the northern store (no.5) for use as the Matthew Talbot Hostel by the Society of St Vincent de Paul (BA932/52 or DA594/52) Figure 44. The proposal included works to bathrooms and ventilation services, partitioning for the proposed ground and first floor dormitory areas and provision of a kitchen on the ground floor. Building works were undertaken by SDC Kennedy and Bird Pty Ltd.

FIGURE 44 – 1952 PLAN OF PROPOSED RENOVATIONS FOR USE AS THE MATTHEW TALBOT HOSTEL

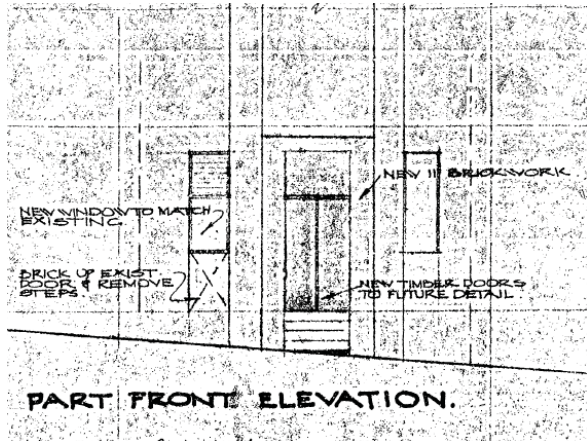


PROPOSED GROUND, FIRST AND SECOND FLOOR PLANS OF 5 YOUNG STREET, SHOWING THE PROPOSED HOSTEL ALTERATIONS.

SOURCE: CITY OF SYDNEY ARCHIVES, BUILDING APPLICATION PLANS 932/52

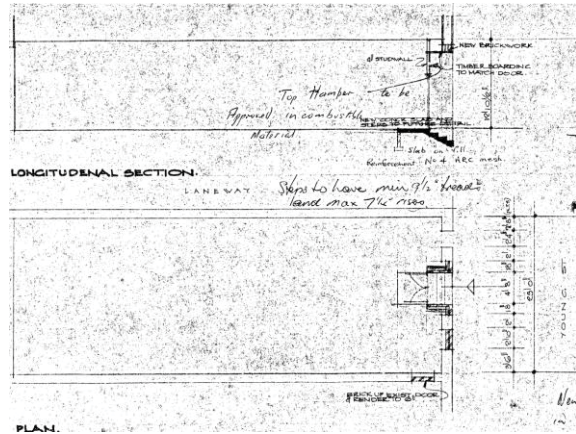
Alterations were approved for a new entry to the Young Street façade of the northern store (no.5) in 1966 (to the current arrangement). Works included enclosing the 1948 entry to Young Street and construction of a window to match the existing fenestration. Internally the works included enclosing the door between the two stores. It is likely that the entry was constructed in conjunction with occupation of the ground floor of the northern store as the Maternal Heart of Mary Marist chapel, which persisted until at least 2005. Works were designed by architects, Terence A. Daly and Associates (refer Figure 45 below.) Renovations for the chapel included revealing the sandstock brick wall and archway that had been hidden behind plaster. These were retained and fittings including sanctuary lamp and the ciboria were specially designed to blend in with the existing colour scheme⁴².

FIGURE 45 – YOUNG STREET FAÇADE ALTERATIONS C1966



PART FRONT ELEVATION SHOWING THE NEW CHAPEL ENTRY

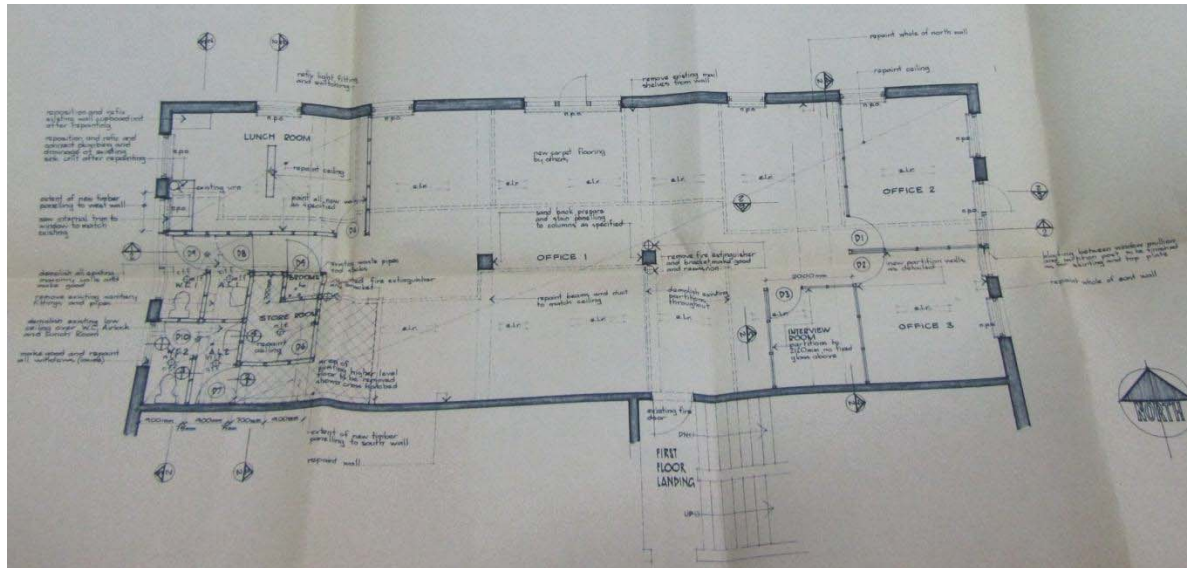
SOURCE: CITY OF SYDNEY ARCHIVES, BUILDING APPLICATION PLANS 106/1A/66 (1966)



PART GROUND FLOOR PLAN AND LONGITUDINAL SECTION SHOWING ALTERATIONS

SOURCE: CITY OF SYDNEY ARCHIVES, BUILDING APPLICATION PLANS 106/1A/66 (1966)

FIGURE 46 – 1974 PLAN OF ALTERATIONS TO THE FIRST FLOOR OF THE NORTHERN STORE



PLAN OF FIRST FLOOR ALTERATIONS TO NORTHERN STORE (INCORRECTLY CITED ON PLAN AS NO.7)

SOURCE: CITY OF SYDNEY ARCHIVES, ITEM NUMBER: 565/74, 5-7 YOUNG ST. ALTERATIONS TO PART OF 1ST FLOOR TO USE AS OFFICES, BOOKSHOP & CHAPEL. MACLURCAN BROWN & PARTNERS, DEVELOPMENT APPLICATION FILES, 03 SEP 1974 - 06 DEC 1977

⁴² The Catholic Weekly, Catholic News from Australia and the World, 'Reprieve for Chapel in the City' by Marilyn Rodrigues, 24/04/2005

Internal works were carried out to the first floor premises of the northern store in 1975 and included demolition of dividing walls, new partitioning and general renovations in connection with the existing use of the premises as administrative offices and bookshop (Monday to Friday) and as a Chapel (7 days). Works were designed by architects Maclurcan Brown and Partners for the Trustees of the Superior Council of Australia (of the Society) Figure 46.

A later DA sought to extend the building with three additional floors of office space however this was considered to materially affect the heritage significance of the site and did not proceed.

FIGURE 47 – C.1984 VIEW OF THE SITE



SOURCE: BALINT 1984

The following alterations and additions are recorded in the City of Sydney Planning Street Cards. Except where further documented above, it is not known whether all the works were approved or undertaken.

TABLE 2 – PLANNING STREET CARDS

BA/DA NUMBER	WORKS	ESTIMATED COST
599/45 Refer above plans	Install R & J for L.R Burns (20/11/1945)	N/A
600/45	Provision of awning for L.R Burns (20/11/1945)	N/A
735/48 Refer above plan	New entry to Young Street ground floor for L.R Burns (16/8/1948)	£28
100/50	(08/02/1950) Interim DA for alterations and additions for use of premises as Secretariat offices for the Society of St Vincent de	N/A

BA/DA NUMBER	WORKS	ESTIMATED COST
	Paul	
1115/50 Refer above plans	Alterations to the basement and ground floor for A. Taylor (builder) (29/8/1950)	£2,500
1118/50	Extend awning (29/8/1950)	N/A
594/52 Refer above	DA for alterations and additions associated with conversion of part premises for use as Hostel for destitute men for Society of St Vincent de Paul (11/07/1952)	N/A
932/52	Convert portion of premises to Hostel for Society of St Vincent de Paul (1952)	£4,000
1024/52	Application for continuation of existing use of premises as offices for Society of St Vincent de Paul (04/11/1952)	N/A
228/1/60	Use DA for Society of St Vincent de Paul (03/03/1960)	N/A
106/66 Refer plans above	New entrance door for J.A Daly and Associates (1966)	£1,400
565/74 (refer above)	Alterations to part of the first floor for use as offices and workshops for Maclurcan Brown and Partners (1974)	N/A
985/74	Alterations to the first floor for Maclurcan Brown and Partners (29/08/1974)	\$3,500
658/1/75	Defective means of egress (17/10/1975)	N/A
48/81/1040	New illuminated signage for St Vincent de Paul Society	\$150
280/79/82	Replace columns and beams for George Word Pty Ltd (1/03/1979) <i>NB: Assessment of extant fabric suggests that this work did not proceed with the likely exception of localised repair or replacement. Most of the timber beams appear to be original and are hand adzed.</i>	\$9,000
BA 2618/87	Perusal of plans for Wellings Smith and Byrnes (29/12/87)	\$87
DA 1072/88	Renovate existing building and erect 11 storey building with first level offices (10/08/88) Trustees of the St Vincent de Paul Society	\$3,700,000
22/7/92	Fire services and works to WCs for T.P Spooner (22/07/1992)	\$200,000
302/92	Use of ground, first and second floors for E. F International English School involving internal alterations (05/06/1992)	\$25,000
498/92	EF International Language School – erect one banner and one under awning sign (08/09/92)	\$4,000

3.4 HISTORICAL THEMES

Historical themes can be used to understand the context of a place, such as what influences have shaped that place over time. The Heritage Council of NSW established 35 historical themes relevant to the State of New South Wales. These themes correlate with National and Local historical themes.

Historical themes at each level that are relevant to the Hinchcliff Woolstore are provided in Table 3.

TABLE 3 – HISTORICAL THEMES

AUSTRALIAN THEME	NSW THEME	LOCAL THEME	EXAMPLE
3 Developing local, regional and national economies	Agriculture	Activities relating to the cultivation and rearing of plant and animal species, usually for commercial purposes, can include aquaculture	Purpose built construction as a wool store for the storage, display, receiving and transport of wool
3 Developing local, regional and national economies	Commerce	Activities relating to buying, selling and exchanging goods and services	Purpose built construction as a wool store for the storage, display, receiving and transport of wool
3 Developing local, regional and national economies	Industry	Activities associated with the manufacture, production and distribution of goods	Use of the store in conjunction with the distribution of wool
3 Developing local, regional and national economies	Pastoralism	Activities associated with the breeding, raising, processing and distribution of livestock for human use	Wool store use
5. Working	Labour	Activities associated with work practises and organised and unorganised labour	Labour functions associated with the store use
7. Governing	Government and administration	Activities associated with the governance of local areas, regions, the State and the nation, and the administration of public programs – includes both principled and corrupt activities.	Original occupation of the site as part of the pleasure grounds of First Government House.
8 Developing Australia's cultural life	Creative endeavour	Activities associated with the production and performance of literary, artistic, architectural and other imaginative, interpretive or inventive works; and/or associated with the production and expression of cultural phenomena; and/or environments that have inspired such creative activities.	Specific building typology and design response associated with the function of the store
9 Marking the phases of life	Persons	Activities of, and associations with, identifiable individuals, families and communal groups	Association of the site with Hinchcliff (Andrew and John) and Holt, noted wool brokers

4 Significance

4.1 WHAT IS HERITAGE SIGNIFICANCE?

Before making decisions to change a heritage item, it is important to understand its values. This leads to decisions that will retain these values in the future. Statements of heritage significance summarise a place's heritage values – why it is important, why a statutory listing was made to protect these values.

4.2 LEVELS AND GRADING OF SIGNIFICANCE

The Heritage Council of NSW recognises four levels of heritage significance in NSW: Local, State, National and World. The level indicates the context in which a heritage place/item is important (e.g. local heritage means it is important to the local area or region). Heritage places that are rare, exceptional or outstanding beyond the local area or region may be of State significance.

In most cases, the level of heritage significance for a place/item has a corresponding statutory listing and responsible authority for conserving them. For instance, Hinchcliff wool store is of state heritage significance and accordingly is listed on the State Heritage Register (SHR).

Different components of a place may contribute in different ways to its heritage value. The gradings of significance developed by the Heritage Council of NSW have been modified as part of this report for Hinchcliff wool store as follows:

TABLE 4 – GRADINGS OF SIGNIFICANCE DEFINITIONS

GRADING	JUSTIFICATION	STATUS
Exceptional	Rare or outstanding elements that directly contribute to the place's overall heritage significance; they retain a high degree of integrity and intactness in fabric or use; any change should be minimal and retain significant values or fabric	Fulfil criteria for local or state listing
High	Element demonstrates a key aspect of the place's overall heritage significance; they have a high degree of original fabric or they retain their original use; alterations do not detract from significance	Fulfil criteria for local or state listing
Moderate	Element contributes to the place's overall heritage significance; they may have been altered but they still have the ability to demonstrate a function or use particular to the site; change is allowed so long as it does not adversely affect the place's overall heritage significance	Fulfil criteria for local listing
Little	Element may be difficult to interpret or may have been substantially modified which detracts from its heritage significance; change is allowed so long as it does not adversely affect the place's overall heritage significance	Does not fulfil criteria for local or state listing
Neutral	Elements do not add or detract from the site's overall heritage significance; change allowed	Does not fulfil criteria for local or state listing
Intrusive	Elements are damaging to the place's overall heritage significance; can be considered for removal or alteration	Does not fulfil criteria for local or state listing

4.3 SIGNIFICANCE ASSESSMENT

TABLE 5 – ASSESSMENT OF HERITAGE SIGNIFICANCE

CRITERIA	SIGNIFICANCE ASSESSMENT
<p>A – Historical Significance</p> <p><i>An item is important in the course or pattern of the local area’s cultural or natural history.</i></p>	<p>Hinchcliff wool store demonstrates the former use and function of Circular Quay as the principal trading port of the colony of NSW and as such, contributes to the interpretation of the adjacent Customs House.</p> <p>It reflects the shift in the market centre for wool to the colonies over London and reflects the significance and expansion of the Australian wool industry, and the importance of wool as Australia's chief export. From 1810, the wool industry substantially contributed to the Australian economy and development, including clearing of land and establishment of grazing lands, construction of road and rail links and development of port facilities. Apart from its economic influence, the industry also contributed to shaping the Australian image, as a country that was 'riding on the sheep's back'.</p> <p>Its form and design typifies early (mid-19th century) wool stores and the store is one of only two remaining such stores that formerly dominated the Quay. It functioned as a store until 1945 when the site was purchased by the Catholic Archdiocese. The continued store use was atypical in the precinct, where most stores moved into the Ultimo Pymont area, post 1890.</p> <p>The extension of the wool store circa 1882 with the construction of the northern store reflects the boom period in the wool industry circa 1870-1880.</p> <p>Satisfies this criterion at the state level.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> ▪ shows evidence of a significant human activity <input type="checkbox"/> ▪ is associated with a significant activity or historical phase <input checked="" type="checkbox"/> ▪ maintains or shows the continuity of a historical process or activity <input checked="" type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> ▪ has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> ▪ provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> ▪ has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>B – Associative Significance</p> <p><i>An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area’s cultural or natural history.</i></p>	<p>The store is associated with noted wool broker Thomas Holt junior who was granted the northern portion of the site in 1853 and acquired the southern lot by 1863.</p> <p>The wool store was built for and is associated with John and Andrew Hinchcliff, (wool merchants) and the firm of Hinchcliff, Son and Co. which was widely and favourably known as one of the oldest and largest firms connected with the wool trade of New South Wales.</p> <p>The site is also associated with the St Vincent’s De Paul Society. It served as CUSA Navy Club rooms and as offices, packing and dispatch store. After 1951 it served as the Offices of the Secretariat and was renamed Ozanam House in honour of the founder of the Society. The site also housed the Matthew Talbot Hostel for destitute men.</p> <p>Satisfies this criterion at the local level.</p>

CRITERIA	SIGNIFICANCE ASSESSMENT
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> ▪ shows evidence of a significant human occupation <input type="checkbox"/> ▪ is associated with a significant event, person, or group of persons <input checked="" type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> ▪ has incidental or unsubstantiated connections with historically important people or events <input type="checkbox"/> ▪ provides evidence of people or events that are of dubious historical importance <input type="checkbox"/> ▪ has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>C – Aesthetic Significance</p> <p><i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</i></p>	<p>Hinchcliff wool store has aesthetic significance as a fine representative example of the gable roofed vernacular warehouse style, the function of which can still be interpreted.</p> <p>The building is moderate to highly intact and retains original internal timber post and beam structure with King post truss roof and exposed flooring forming ceilings. Retained cathead beam structures and large hoist pulleys characterise the manual lifting of wool to the upper floors.</p> <p>The building responds and interprets the adjacent Customs House and contributes to the streetscape, with its location at the juncture of Young Street and Customs House Lane enabling visibility of the dual street frontages.</p> <p>Satisfies this criterion at the state level.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> ▪ shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> ▪ is the inspiration for a creative or technical innovation or achievement <input type="checkbox"/> ▪ is aesthetically distinctive <input checked="" type="checkbox"/> ▪ has landmark qualities <input type="checkbox"/> ▪ exemplifies a particular taste, style or technology <input checked="" type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> ▪ is not a major work by an important designer or artist <input type="checkbox"/> ▪ has lost its design or technical integrity <input type="checkbox"/> ▪ its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> ▪ has only a loose association with a creative or technical achievement <input type="checkbox"/>
<p>D – Social Significance</p> <p><i>An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</i></p>	<p>For a substantial period, the economic and social fabric of Australia was interwoven with the wool industry and the store reflects the shift in the international market to the colonies and the development of Circular Quay as the principal trading port. However the store has not operated as such since the mid-1940s and does not have a contemporary community or cultural association.</p> <p>The site is associated with the St Vincent de Paul Society and served for a number of years as the Secretariat Offices, as the Mathew Talbot Hostel for Destitute men and also as the Marist Chapel. The closure of the chapel generated much public interest and controversy.</p> <p>Satisfies this criterion at the local level</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> ▪ is important for its associations with an identifiable group <input type="checkbox"/> ▪ is important to a community's sense of place <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> ▪ is only important to the community for amenity reasons <input type="checkbox"/> ▪ is retained only in preference to a proposed alternative <input type="checkbox"/>
<p>E – Research Potential</p> <p><i>An item has potential to yield information that will</i></p>	<p>Hinchcliff has the potential to contribute further to our understanding of the use and operations of mid-nineteenth century warehouse buildings, particularly in the area of</p>

CRITERIA	SIGNIFICANCE ASSESSMENT
<p><i>contribute to an understanding of the local area's cultural or natural history.</i></p>	<p>goods handling and the changes in technology and typology that occurred over time.</p> <p>Hinchcliff has potential archaeological, scientific and research significance relevant to earlier uses and the development/ occupation of the site as part of the former Governors Domain. The archaeological potential of the store and associated Customs House Lane and Loftus Lane has been assessed as moderate.</p> <p>Archaeological deposits associated with the First Government House garden, or Aboriginal burials are potentially of National heritage significance.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> ▪ has the potential to yield new or further substantial scientific and/or archaeological information <input checked="" type="checkbox"/> ▪ is an important benchmark or reference site or type <input type="checkbox"/> ▪ provides evidence of past human cultures that is unavailable elsewhere <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> ▪ the knowledge gained would be irrelevant to research on science, human history or culture <input type="checkbox"/> ▪ has little archaeological or research potential <input type="checkbox"/> ▪ only contains information that is readily available from other resources or archaeological sites <input type="checkbox"/>
<p>F – Rarity</p> <p><i>An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.</i></p>	<p>A rare surviving and moderately intact example of the first generation of woolstores, with the characteristic gables over loading bays, which dominated Circular Quay in the mid-19th century. The store is one of two surviving stores within the vicinity of the Quay and one of only a small group of surviving smaller stores in the broader LGA.</p> <p>Extant equipment such as the cathead beam and pulleys are also rare.</p> <p>Satisfies this criterion at the state level.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> ▪ provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> ▪ demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> ▪ shows unusually accurate evidence of a significant human activity <input type="checkbox"/> ▪ is the only example of its type <input type="checkbox"/> ▪ demonstrates designs or techniques of exceptional interest <input checked="" type="checkbox"/> ▪ shows rare evidence of a significant human activity important to a community <input checked="" type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> ▪ is not rare <input type="checkbox"/> ▪ is numerous but under threat <input type="checkbox"/>
<p>G – Representative</p> <p><i>An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's):</i></p> <ul style="list-style-type: none"> ▪ <i>cultural or natural places; or</i> ▪ <i>cultural or natural environments.</i> 	<p>The store is an excellent representative example of the early vernacular stores common in the mid- late 19th century and of moderate to high integrity. Materials and construction are representative of Victorian warehouses and includes original winching equipment.</p> <p>Satisfies this criterion at the state level.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> ▪ is a fine example of its type <input checked="" type="checkbox"/> ▪ has the principal characteristics of an <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> ▪ is a poor example of its type <input type="checkbox"/> ▪ does not include or has lost the range of <input type="checkbox"/>

CRITERIA	SIGNIFICANCE ASSESSMENT
<ul style="list-style-type: none"> important class or group of items <input checked="" type="checkbox"/> ▪ has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> ▪ is a significant variation to a class of items <input type="checkbox"/> ▪ is part of a group which collectively illustrates a representative type <input type="checkbox"/> ▪ is outstanding because of its setting, condition or size <input type="checkbox"/> ▪ is outstanding because of its integrity or the esteem in which it is held <input type="checkbox"/> 	<ul style="list-style-type: none"> characteristics of a type <input type="checkbox"/> ▪ does not represent well the characteristics that make up a significant variation of a type <input type="checkbox"/>

4.4 STATEMENT OF SIGNIFICANCE

The former Hinchcliff Wool Store at 5-7 Young Street is of State heritage significance for its historic, aesthetic and representative values, and as a rare example of a largely intact vernacular wool store of the mid-19th century.

The store demonstrates the former use and function of Circular Quay as the principal trading port of the colony of NSW and as such, contributes to the interpretation of the adjacent Customs House. It reflects the shift in the market centre for wool to the colonies over London and reflects the significance and expansion of the Australian wool industry, and the economic importance of wool as Australia's chief export. The extension of the wool store circa 1882 with the construction of the northern store reflects the boom period in the wool industry circa 1870-1880. The store is associated with noted wool broker Thomas Holt junior and John and Andrew Hinchcliff, (wool merchants) and the firm of Hinchcliff, Son and Co. which was widely and favourably known as one of the oldest and largest firms connected with the wool trade of New South Wales.

Hinchcliff is of aesthetic and representative significance for its form, materials and design which typifies the first generation of wool stores which dominated Circular Quay in the mid-19th century. The store features characteristic masonry brick and sandstone facades, with gables over loading bays and original cathead pulleys, internal timber post and beam construction with king post truss roof and exposed timber floors.

The store is one of only two surviving stores within the vicinity of the Quay and one of only a small group of surviving smaller stores in the broader LGA and is considered rare. The store is of moderate to high integrity and extant equipment associated with the store use (such as the cathead beam and pulleys) are also rare.

The archaeological potential of the store and associated Customs House Lane and Loftus Lane has been assessed as moderate however archaeological deposits associated with the First Government House garden, or Aboriginal burials are potentially of National heritage significance.

The former store is also of local significance for its association with the St Vincent's De Paul Society serving variously as the Offices of the Secretariat and housing the Matthew Talbot Hostel for destitute men and the Maternal Heart of Mary Marist Chapel over the period of its approximately 40 year occupancy.

4.5 SCHEDULE OF SIGNIFICANT ELEMENTS

Various elements of the former Hinchcliff Wool Store have been graded below in relation to their contribution to the site's overall heritage significance. Elements include structure, facades, detailing and equipment that are located within the site's curtilage. The below Table 6 – Gradings of Heritage Significance also corresponds to plans at Figure 48 which have been colour coded to illustrate the gradings of significance.

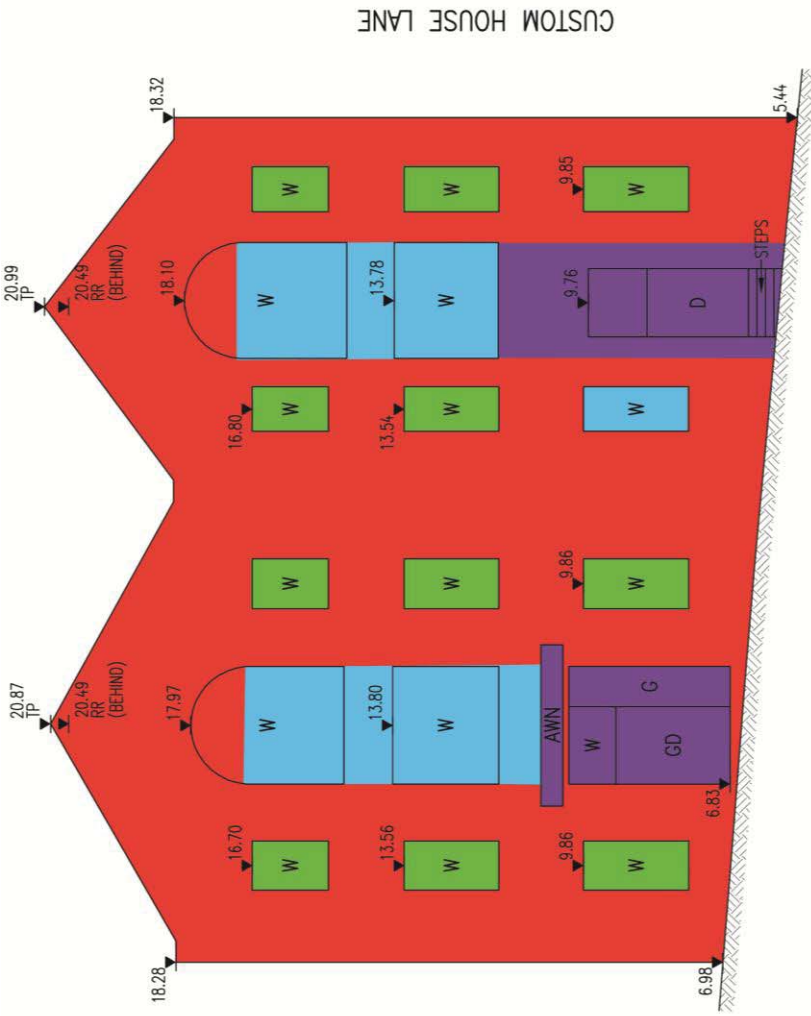
TABLE 6 – GRADINGS OF HERITAGE SIGNIFICANCE

STRUCTURE, SPACE OR ELEMENT	ELEVATION OR LEVEL	GRADING
-----------------------------	--------------------	---------

STRUCTURE, SPACE OR ELEMENT	ELEVATION OR LEVEL	GRADING
EXTERIOR		
Overall façade and form	-	Exceptional
Masonry (sandstone and brick) facades (including sandstone quoining, sills, parapet detailing including ball finials and lion head terminals and finishes including stucco moulding and label moulds).	All elevations	Exceptional
Arched timber multi-paned highlight window within the central gable/ former loading bay	All elevations	Exceptional
Double hung timber windows	All elevations (except where exclusions nominated below)	High
Corrugated roof cladding	-	Little
Modified fenestration/ infill within the former central loading bays (including timber and steel casement windows)	All elevations	Moderate
Restored ground floor double hung timber window/	Eastern elevation/ north store adjacent to the chapel entry (south window)	Moderate
Contemporary “shop front” entry to southern store (7 Young Street) including awning, steel frame and glazed doors.	Eastern elevation/ ground floor	Neutral
c.1966 Chapel entry to northern store (5 Young Street) including later brickworks insertion to the height of the stringcourse , timber doors and stair)	Eastern elevation/ ground floor	Neutral
Cathead pulleys/ winching equipment and any casings.	Northern and western facades	Exceptional
Raised Hinchcliff’s Wool Stores parapet signage	Northern elevation	Exceptional
Basement windows	Northern and western elevations	High
Down pipes and rainwater heads	Northern elevation	Little
Council street signage (Customs House Lane and parking) (fixed to façade).	Northern elevation	Neutral
Air conditioning units within window bays	Northern elevation	Intrusive
Part masonry infill of central loading bays	Western elevation (ground floor northern store and level 2 southern store)	Intrusive
Masonry infill of former window openings and new fenestration	Western elevation (ground floor northern store and level 2	Intrusive

STRUCTURE, SPACE OR ELEMENT	ELEVATION OR LEVEL	GRADING
	southern store)	
Fire egress door	Western elevation / ground floor	Intrusive
Security grills	Western elevation	Intrusive
Fire services	Western elevation	Neutral
INTERIOR		
Timber Flooring	All floors (ground floor south unidentified).	Exceptional
Timber post and beam structure	Ground Floor and Level 1	Exceptional
Sandstock brick central wall (including arched openings)	All floors	Exceptional
King Post Truss roof	Level 2	Exceptional
Partitioning for office uses	Ground floor south	Neutral
Partitioning/ fit out for chapel uses (including offices/ cleaners room and confessionals)	Ground floor Chapel	Neutral
Partitioning for schools use	Level 1 and 2 north store	Neutral
Partitioning for schools use (with full lining of interiors including dropped ceilings and wall linings)	Level 1 and 2 south store	Intrusive
WCs	All floors	Neutral
Kitchenette	Ground floor south	Neutral
Concrete stair hall	All floors	Intrusive
Ducting and air conditioning services	Level 2	Intrusive

FIGURE 48 – PLANS AND ELEVATIONS COLOUR CODED TO SHOW GRADING OF HERITAGE SIGNIFICANCE



EASTERN ELEVATION
 "HINCHCLIFF BUILDING"
 Nos.5-7 YOUNG STREET

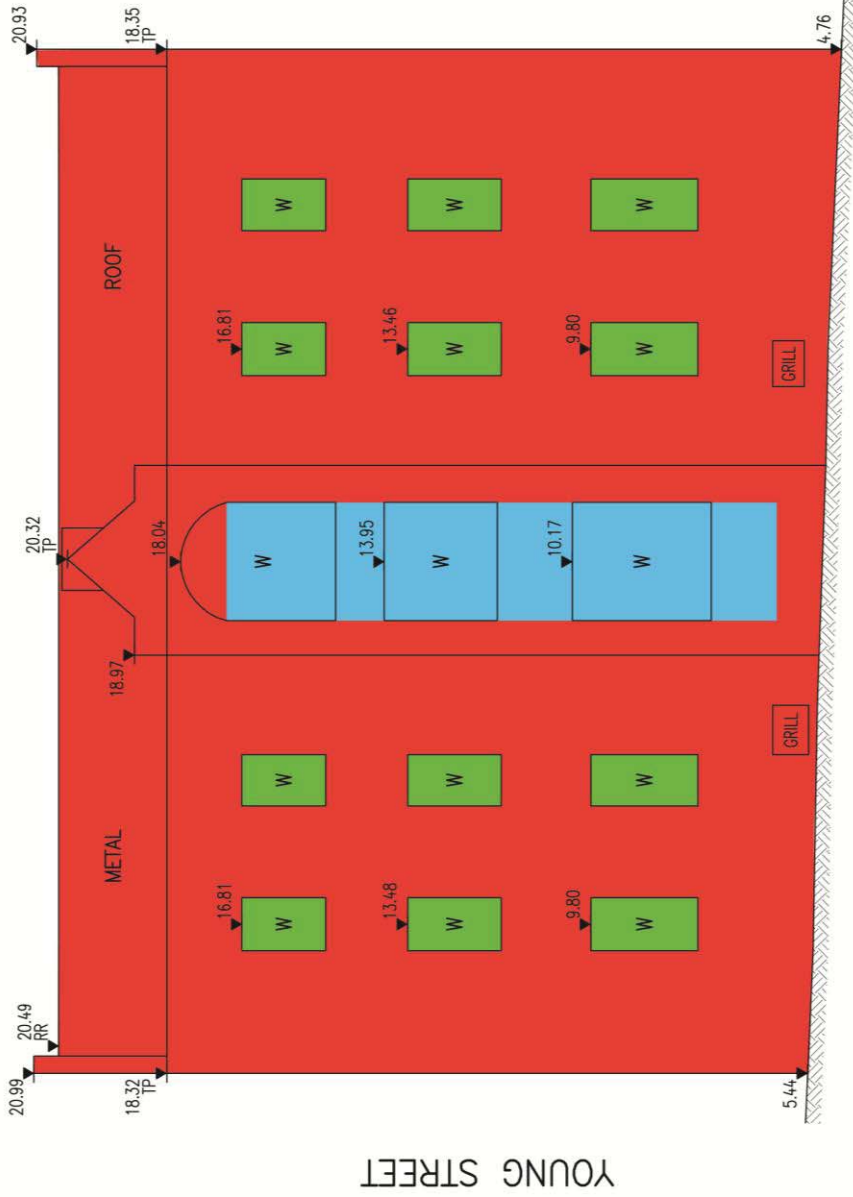
- NOTES
1. DENSE OR EXCEPTIONAL HERITAGE SIGNIFICANCE
 2. MODERATE HERITAGE SIGNIFICANCE
 3. LITTLE HERITAGE SIGNIFICANCE
 4. NEUTRAL HERITAGE SIGNIFICANCE
 5. INTRUSIVE HERITAGE SIGNIFICANCE

HERITAGE SIGNIFICANCE	COLOUR
EXCEPTIONAL	Red
MODERATE	Blue
LITTLE	Yellow
NEUTRAL	Purple
INTRUSIVE	Orange

DATE	BY	REVISION

CONTRACTOR	DATE	SCALE	PROJECT NO.
DENNY LINKER & CO	11/01	1:100	20/07/13
100 FERRY STREET			

EASTERN ELEVATION
 SOURCE: DENNY LINKER AND CO SURVEY PLAN AMENDED BY URBIS



NORTHERN ELEVATION
 "HINCHCLIFF BUILDING"
 Nos.5-7 YOUNG STREET

- NOTES:
1. TO BE CONSIDERED AS A GUIDE ONLY.
 2. TO BE CONSIDERED AS A GUIDE ONLY.
 3. TO BE CONSIDERED AS A GUIDE ONLY.
 4. TO BE CONSIDERED AS A GUIDE ONLY.
 5. TO BE CONSIDERED AS A GUIDE ONLY.
 6. TO BE CONSIDERED AS A GUIDE ONLY.
 7. TO BE CONSIDERED AS A GUIDE ONLY.
 8. TO BE CONSIDERED AS A GUIDE ONLY.
 9. TO BE CONSIDERED AS A GUIDE ONLY.
 10. TO BE CONSIDERED AS A GUIDE ONLY.

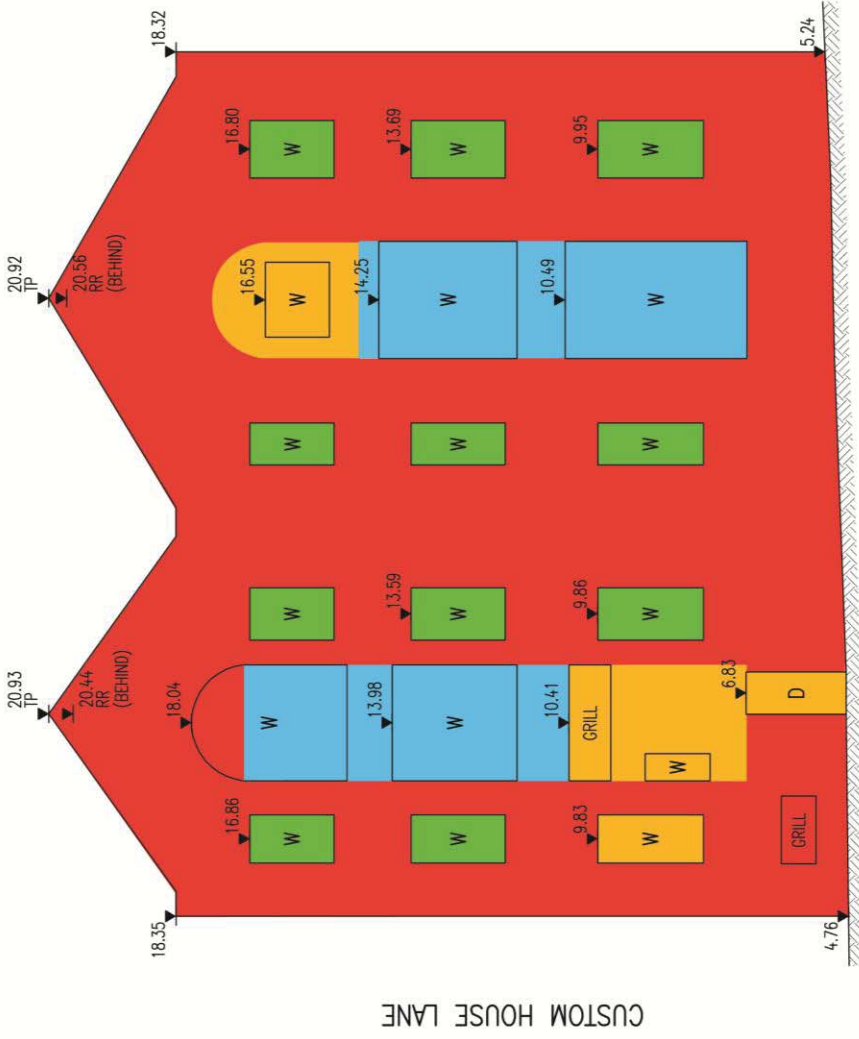
- LEGEND:
- EXCEPTIONAL
 - HIGH
 - MODERATE
 - LITTLE
 - NEUTRAL
 - INTRUSIVE

DATE	BY	REVISION	ISSUE

CONTRACTOR	DATE	REVISION	ISSUE
DENNY LINKER & CO	20/07/13		

PLAN SHOWING ELEVATIONS
 YOUNG STREET & LOFTUS STREET
 SYDNEY

NORTHERN ELEVATION
 SOURCE: DENNY LINKER AND CO SURVEY PLAN AMENDED BY URBIS



CUSTOM HOUSE LANE

WESTERN ELEVATION

"HINCHCLIFF BUILDING"
Nos.5-7 YOUNG STREET

- NOTES:
1. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 3. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 4. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 5. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 6. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 7. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 8. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 9. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 10. DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.

LEGEND:

EXCEPTIONAL	MODERATE	NEUTRAL
HIGH	LITTLE	INTRUSIVE

DATE	BY	REVISION	SCALE

PLAN SHOWING ELEVATIONS
YOUNG STREET LOTUS STREET
SYDNEY

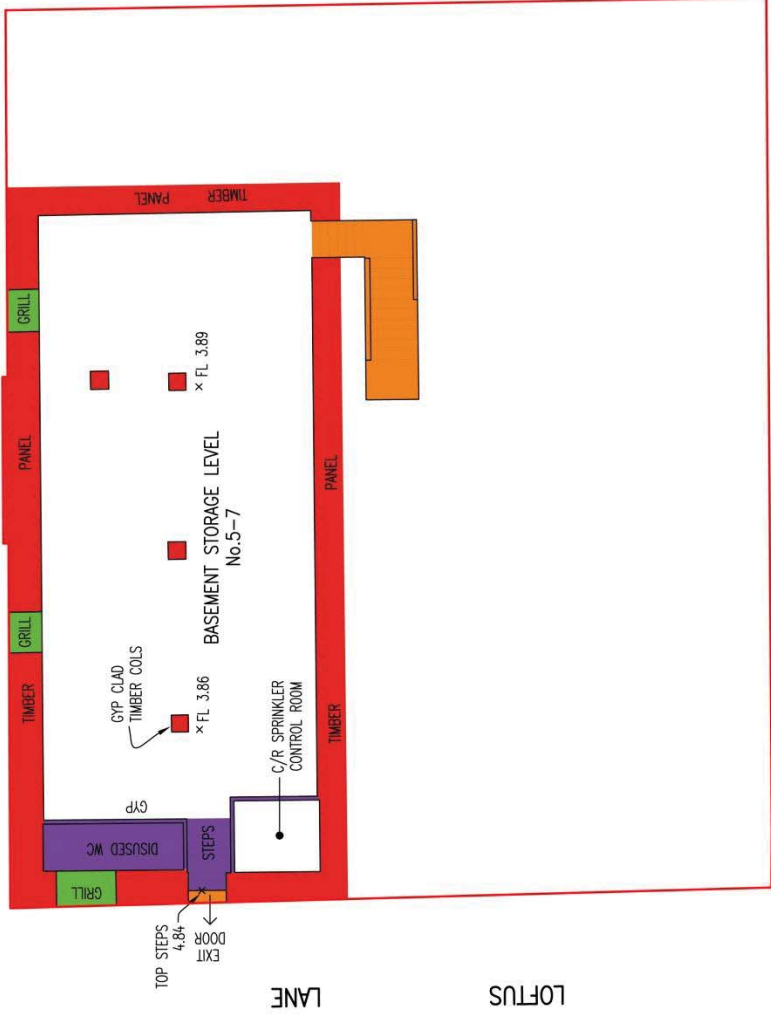
DENNY LINKER & CO.		DATE: 11/09	NO: 12/02/12
SYDNEY		SCALE: 1:100	NO: 12/02/12
110 PARRAMATTA ROAD SYDNEY NSW 2150		PROJECT: 12/02/12	NO: 12/02/12
110 PARRAMATTA ROAD SYDNEY NSW 2150		PROJECT: 12/02/12	NO: 12/02/12

WESTERN ELEVATION
SOURCE: DENNY LINKER AND CO SURVEY PLAN AMENDED BY URBIS

- NOTES:**
1. ORIGIN OF LEVELS PW 50000, RL.8775 (A.H.D.). BEARINGS ARE ON APPROXIMATE NORTH ONLY.
 2. NO BOUNDARY SURVEY MADE
 3. EXTERNAL WALL THICKNESSES SHOWN ARE APPROX. ONLY
 4. LOCATION OF FLOOR PLANS RELATIVE TO EACH OTHER FLOOR ARE APPROX. ONLY.



CUSTOM HOUSE LANE LOFTUS YOUNG STREET



EXCEPTIONAL	EXCEPTIONAL JOINERY (INCL. TIMBER FLOORS AND FIRST TRUSSES)
HBH	MODERATE
LITTLE	NEUTRAL
INTRUSIVE	

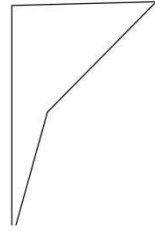
06/08/12	KR	WINDOWS ADDED	A
DATE	BY	REVISION	ISSUE

**PLAN SHOWING INTERNAL DETAILS AT
BASEMENT STORAGE LEVEL
No.5-7 YOUNG STREET
SYDNEY**

SHEET 1 OF 4 SHEETS		CONSULTING SURVEYORS	
DENNY LINKER & CO. SYDNEY		RATIO: 1:100	DATE 31/07/12
5th Floor 17 RANDLE STREET SURRY HILLS N.S.W. 2010 PH. (02) 9212 4655 FAX (02) 9212 5254		DATUM: A.H.D.	ISSUE A
		DRAWN: KR/LG	SHEET SIZE A3
		REF. No.: 120502	DWG. No.: 120502
			I.D.:

BASEMENT PLAN
SOURCE: DENNY LINKER AND CO SURVEY PLAN AMENDED BY URBIS

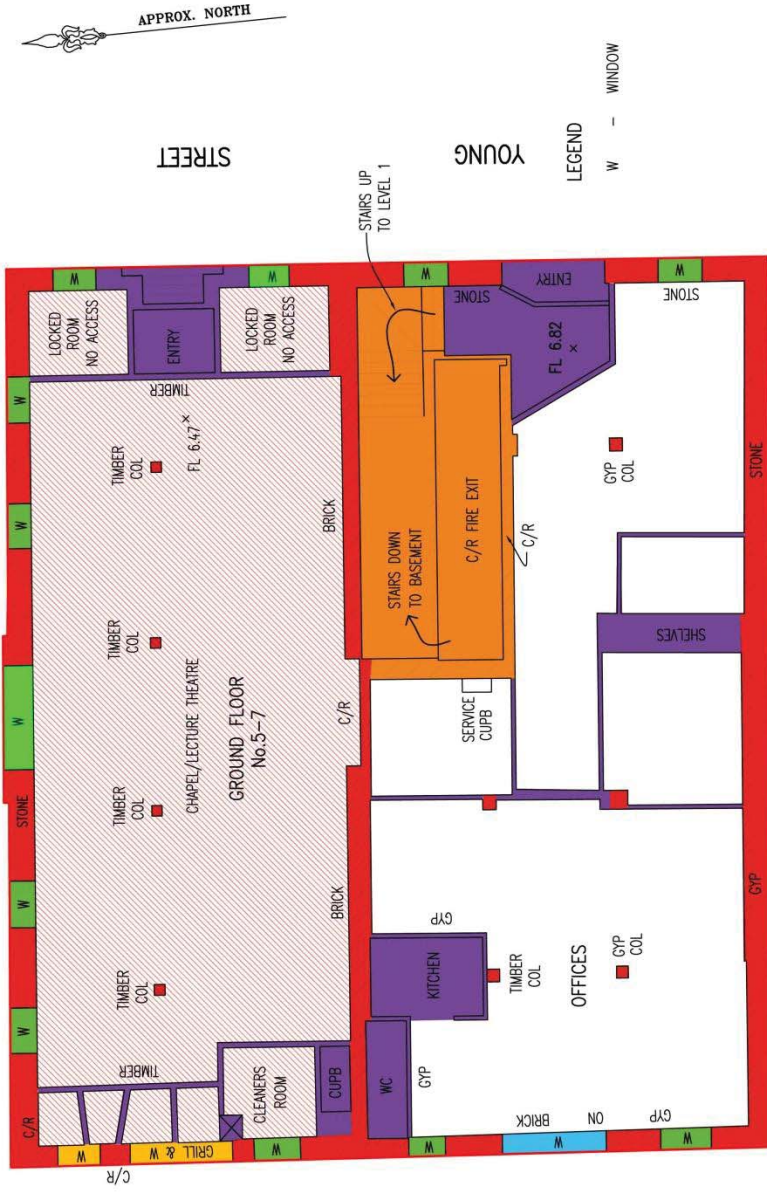
CUSTOM



EXCEPTIONAL	EXCEPTIONAL JOINERY (INCL. TIMBER FLOORING & KING POST TRUSSES)
HIGH	Moderate
Moderate	Little
Little	Neutral
Neutral	Intrusive

HOUSE

LANE



APPROX. NORTH

STREET

YOUNG

LEGEND

W - WINDOW

STAIRS UP TO LEVEL 1

STAIRS DOWN TO BASEMENT

C/R FIRE EXIT

SERVICE CUPB

SHELVES

06/08/12	KR	WINDOWS ADDED	A
DATE	BY	REVISION	ISSUE

SHEET 2 OF 4 SHEETS

X:\120505\120502 AMP - BRIDGE ST SYDNEY\DETAIL YOUNG ST\120502 DETAIL YOUNG ST.dwg

CONSULTING SURVEYORS

DENNY LINKER & CO.

SYDNEY

5th Floor 17 RANDLE STREET

SURRY HILLS N.S.W. 2010

PH. (02) 9212 4655 FAX (02) 9212 5254

PLAN SHOWING INTERNAL DETAILS AT
GROUND FLOOR
No.5-7 YOUNG STREET
SYDNEY

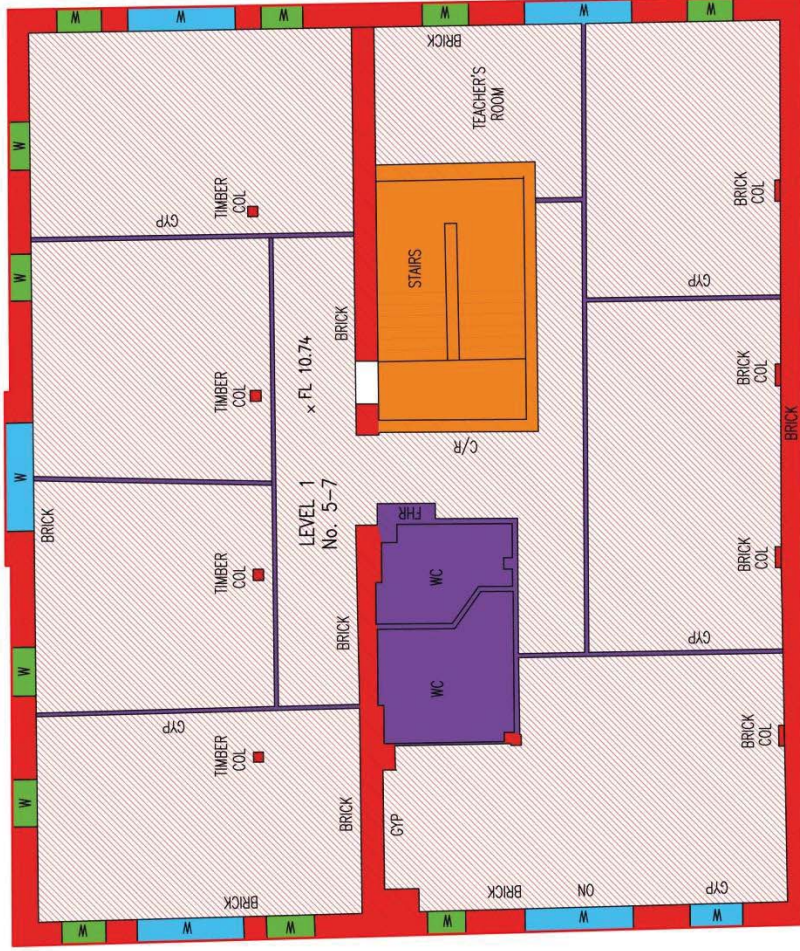
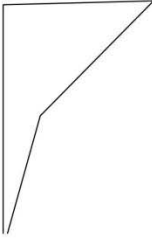
RATIO: 1:100	DATE 31/07/12
DATUM: A.H.D.	ISSUE A
DRAWN: KR/LG	SHEET SIZE A3
REF. No.: 120502	DWG. 120502
	I.D.:

GROUND FLOOR PLAN
SOURCE: DENNY LINKER AND CO SURVEY PLAN AMENDED BY URBIS

CUSTOM

HOUSE

LANE



STREET

YOUNG

LANE

LOTUS

EXCEPTIONAL	EXCEPTIONAL JOINERY (W/OUT TIMBER FLOORING AND POST TRUSSES)
HIGH	MODERATE
LITTLE	NEUTRAL
INTRUSIVE	

LEGEND

W - WINDOW

APPROX. NORTH

06/08/12	KR	WINDOWS ADDED	A	ISSUE
DATE	BY	REVISION		

SHEET 3 OF 4 SHEETS

X:\12\JOBS\120502 AMP_BRIDGE ST SYDNEY\DETAIL YOUNG ST\120502 DETAIL YOUNG ST.dwg

CONSULTING SURVEYORS	
DENNY LINKER & CO.	
SYDNEY	
5th Floor 17 RANDLE STREET	
SURRY HILLS N.S.W. 2010	
PH. (02) 9212 4655 FAX (02) 9212 5254	

RATIO: 1:100	DATE
DATUM: A.H.D.	31/07/12
DRAWN: KR/LG	ISSUE
REF. 120502	A
No.:	SHEET SIZE
	A3
	DWG. 120502
	I.D.:

PLAN SHOWING INTERNAL DETAILS AT
LEVEL 1
No.5-7 YOUNG STREET
SYDNEY

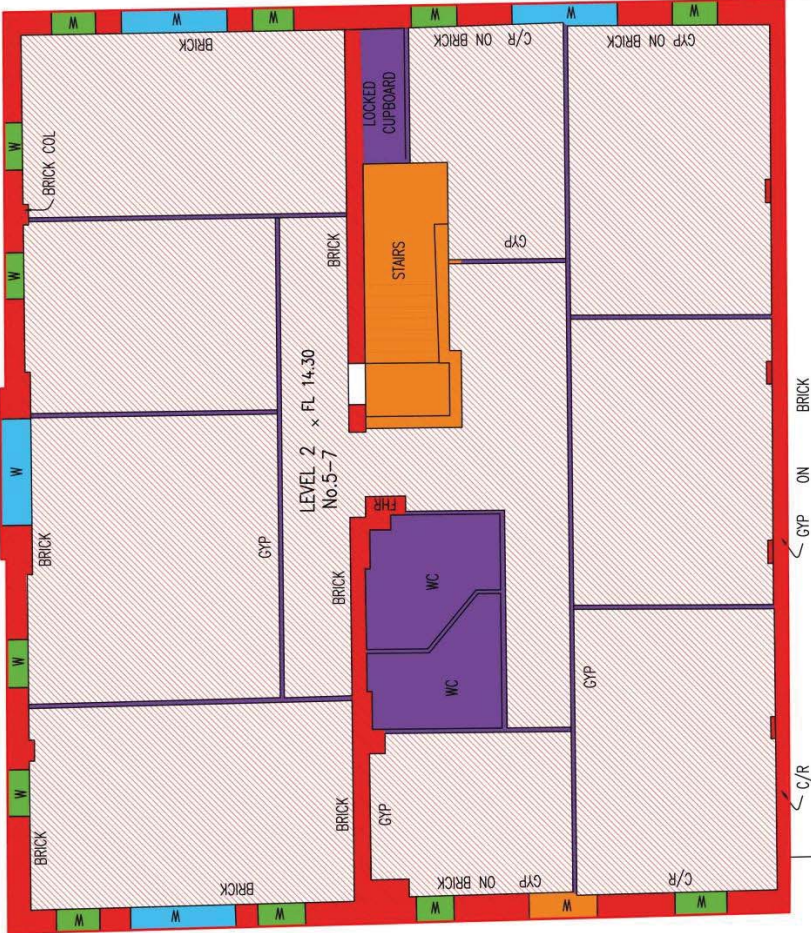
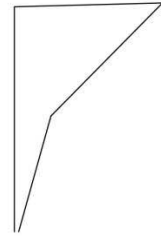
LEVEL 1 PLAN

SOURCE: DENNY LINKER AND CO SURVEY PLAN AMENDED BY URBIS

CUSTOM

HOUSE

LANE



STREET

YOUNG

LEGEND

W - WINDOW

	EXCEPTIONAL
	EXCEPTIONAL JOINERY (INC. TIMBER FLOORING & ANGLE POST TRUSSES)
	HIGH
	MODERATE
	LITTLE
	NEUTRAL
	INTRUSIVE

06/08/12	KR	WINDOWS ADDED	A	ISSUE
DATE	BY	REVISION		

SHEET 4 OF 4 SHEETS

X:\12\JOBS\120502 AMP BRIDGE ST SYDNEY DETAIL YOUNG ST\120502 DETAIL YOUNG ST.dwg

CONSULTING SURVEYORS		RATIO: 1:100	DATE
DENNY LINKER & CO.		DATUM: A.H.D.	31/07/12
SYDNEY		DRAWN: KR/LG	ISSUE
5th Floor 17 RANDLE STREET		REF. No.:	SHEET SIZE
SURREY HILLS N.S.W. 2010		120502	A
P.H. (02) 9212 4655 FAX (02) 9212 5254		DWG. I.D.:	A3

PLAN SHOWING INTERNAL DETAILS AT
LEVEL 2
No.5-7 YOUNG STREET
SYDNEY

LEVEL 2 PLAN

SOURCE: DENNY LINKER AND CO SURVEY PLAN AMENDED BY URBIS

4.6 ARCHAEOLOGY AND CULTURAL HERITAGE

The site may have historical archaeological potential or it may be a place of Aboriginal cultural heritage. Artefact Heritage was commissioned by Urbis, on behalf of AMP, to undertake an assessment of Aboriginal and historical archaeological potential for the AMP Circular Quay Precinct. The area of the assessment was bounded by Phillip Street to the east, Loftus Street to the west, Bridge Street and Loftus Lane to the south, and Scouts Place and Customs House Lane to the north and included the subject Hinchcliff Wool Store.

FIGURE 49 – SUBJECT AREA OF ARCHAEOLOGICAL ASSESSMENT



ARTEFACT 2012 FIGURE 2

4.6.1 ABORIGINAL CULTURAL HERITAGE

Aboriginal cultural heritage consists of places and items that are of significance to Aboriginal people because of their traditions, observances, lore, customs, beliefs and history. It provides evidence of the lives and existence of Aboriginal people before European settlement through to the present. Aboriginal cultural heritage is dynamic and may comprise physical (tangible) or non-physical (intangible) elements. It includes things made and used in traditional societies, such as stone tools, art sites and ceremonial or

burial grounds. It also includes more contemporary and/or historical elements such as old mission buildings, massacre sites and cemeteries.^[1]

Aboriginal cultural heritage also relates to the connection and sense of belonging that people have with the landscape and each other. It recognises that Aboriginal people understand cultural heritage and cultural practices as being part of both the past and the present and that cultural heritage is kept alive and strong by being part of everyday life.

Cultural heritage is not confined to sites; it also includes peoples' memories, storylines, ceremonies, language and 'ways of doing things' that continue to enrich local knowledge about the cultural landscape. It involves teaching and educating younger generations. It is also about learning and looking after cultural traditions and places, and passing on knowledge. It is enduring but also changing. It is ancient but also new. Aboriginal cultural knowledge provides crucial links between the past and present and therefore represents an essential part of the identities of Aboriginal people and all Australians.

The traditional owners of the land are the Gadigal (Cadigal, Cadi) tribe.

The Artefact assessment notes that Hinchcliff House, as an extant 19th century building, could potentially preserve earlier deep subsurface features such as wells or privies. The adjacent laneways were noted as existing on their current alignments since the mid-19th century and therefore have been protected from development or significant disturbance. The report noted potential for original soil deposits existing below the current bitumen surfaces of the lanes, potentially including rare evidence for former Aboriginal occupation in the Sydney CBD.

The Artefact Assessment states⁴³:

The Office of Environment and Heritage (OEH) Aboriginal Heritage Information Management System (AHIMS) sites register indicated that a recorded Aboriginal site, AHIMS # 45-6-2299, was located in the forecourt area of the Museum of Sydney on the southern side of Bridge Street, and outside the subject site. The intent of the site recording was to document the Aboriginal burials that occurred within the gardens of First Government House. The gardens covered a wide area between the location of the house and the southern shoreline of Sydney Cove. It is not possible to determine the exact location of the burials, with background research and the AHIMS site recording indicating that there is a potential for the burials to occur at any location within the subject site (being the larger AMP precinct as defined in section 4.6 above) where there is natural ground surface.

4.6.2 HISTORICAL ARCHAEOLOGICAL POTENTIAL

Historical archaeology is the study of the past using physical evidence in conjunction with historical sources. It focuses on the objects used by people in the past and the places where they lived and worked. It can tell us about the way things were made and used and how people lived their daily lives. Archaeology is not just about objects and remains, it is also about landscapes and links between sites.

Archaeological Potential is defined as^[2]:

The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research. Common units for describing archaeological potential are:

- known archaeological features/sites (high archaeological potential);
- potential archaeological features/sites (medium archaeological potential);
- no archaeological features/sites (low archaeological potential).

[1] Office of Environment and Heritage 2011a

⁴³ Artefact Heritage 2012: ii

[2] Department of Urban Affairs and Planning 1996

The Artefact assessment notes that Hinchcliff House, as an extant 19th century building, could potentially preserve earlier deep subsurface features such as wells or privies. The adjacent laneways were noted as existing on their current alignments since the mid-19th century and therefore have been protected from development or significant disturbance. The report noted potential for original soil deposits existing below the current bitumen surfaces of the lanes, potentially including rare evidence of the First Government House gardens. Evidence related to First Government House may be of national heritage significance. Evidence for 19th century activities or earlier pavements may also exist beneath the lanes⁴⁴.

Hinchcliff House is defined as an Area of Archaeological Potential (AAP) which is defined as:

*An allotment of land or feature that has been identified in the field survey as being an area of high archaeological potential due to limited physical disturbance (usually due to the most recent building development). This category includes both above and below ground archaeological features such as remnant structures, significant fabric of extant buildings / structures, as well as below ground sites. Most areas identified will contain sites of former occupations / activity and buildings. These sites may be known through historic documentation (not undertaken as part of the AZP project), or may become evident during the fieldwork. An example of the latter is within currently vacant allotments (generally development sites and car parks), where the shadows or outlines of the most recently demolished structures are evident on the walls of adjoining buildings.*⁴⁵

The Artefact Assessment states⁴⁶:

If archaeological deposits associated with the First Government House garden, or Aboriginal burials are identified and found to be of National heritage significance, the impacts would need to be assessed under the provisions of the Commonwealth EPBC Act. Referrals may need to be made to the Australian Government Minister for the Environment, Heritage and the Arts prior to works commencing.

Overall, the site's archaeological potential is considered to be moderate.



⁴⁴ Artefact Heritage 2012:i

⁴⁵ Ibid 41-42

⁴⁶ Ibid ii

4.7 COMPARATIVE ANALYSIS

The following comparative analysis principally considers woolstores and warehouses of the Victorian period with like typology, i.e. the 'phase one' category of early warehouses, typified by the use of load bearing stone or masonry external walls, simple timber roof trusses, and internal timber post and beam structures and timber floors. Within that typology, the comparison is further limited to the characteristic smaller gabled forms. The comparison predominantly considers examples in the City of Sydney LGA, within the Rocks, Millers Point, Circular Quay and Pyrmont. None of the buildings in the survey were inspected internally.

SITE	DATE	DESIGNER	STATUTORY LISTING	SIGNIFICANCE, INTEGRITY AND OTHER DETAILS	IMAGE
Former Campbell's Store House 7-27 Circular Quay West, Campbell's Cove	1839-1890.	Unknown	Heritage Act - s.170 NSW State agency heritage register Local Environment Plan	<p>Style: Maritime Georgian; Stores: 3; Roof Cladding: The roofs are slate sheathed with lead capping and copper-lined trough gutters; Floor Frame: The ground floor in all bays is a concrete slab while Level 2 & 3 floors are timber boards on timber joists; Roof Frame: Timber</p> <p>Campbell's Stores comprise eleven gable fronted, three storey high rectangular plan bays. When constructed, the stores were only about 20 metres from the wharf edge. The northern-most bay (Bay 11) is of different materials and construction to the other ten bays and was the last built being completed about 1890s. Sometime between 1882 and 1887, the third level was added to the stores. Bays 1-10 are almost identical measuring 8.1 metres wide and 15.8 metres long. Bays 1-10 have a continuous front (east facade) and rear (west facade) with openings in both, constructed in sandstone both internally and externally to the top of Level 2, with brick above. Retains some industrial features such as manual and hydraulic hoists.</p> <p>Campbell's Stores are a rare example of mid nineteenth century warehousing in Sydney and the only one of its type remaining on the foreshores of Sydney Cove.</p>	 <p>Campbell's Store 2007</p>  <p>Campbell's Store (from Hickson Road) c.1970 Source: SHFA</p>
Munn Street Bond Stores, Dalgety Bond Stores (Block A) 6-20 Munn Street, Millers Point	c.1870	Built as a wool store, likely for John Cuthbert, a noted boat builder.	Heritage Act - State Heritage Register Heritage Act - s.170 NSW State agency heritage register Local Environment Plan	<p>Stores: 2 (to Munn Reserve), 5 storeys to Hickson Road, Style: Block A: Victorian Georgian</p> <p>The former Dalgety's Bond Stores were originally a complex of three warehouse components, known as Dalgety's Bond A, B and C. Only blocks A and C survive. Block A is an irregular gable roofed sandstone structure. The former Dalgety's Bond Stores represents different phases of warehouse typology, and demonstrates two basic types of traditional structure employing loadbearing perimeter walls and internal timber construction. Block A is a composite element displaying not only heavy timber structural members but also trussed timber girders and steel south-light external hoist sheaves. King post truss roof.</p>	 <p>Block A from Munn Reserve Source: http://www.environment.nsw.gov.au/heritageapp/HeritageItemImage.aspx?ID=242365 #ad-image-13. Copyright: Paul Davies Pty Ltd</p>

⁴⁷ Office of Environment and Heritage <<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5053151>>

<p>ASN Co Buildings</p> <p>Australian Steam Navigation Company Building / Ordnance Stores (Commonwealth)</p> <p>1-5 Hickson Road, The Rocks</p> <p>35-45 Circular Quay West</p>	<p>1884-85, 1892-94 (water tower)</p> <p>William Wilkinson Wardell</p>	<p>Heritage Act - State Heritage Register</p>	<p>Style: Pre Federation Anglo Dutch; Storeys: Four; Facade: Stone and polychrome brick facade including copper roofed bay and ornate stone capped gable ends.; Internal Walls: Original set plaster and rendered brick walls (Bay 1; Roof Cladding: Slate; Internal Structure: Original timber post and beam construction with cast iron capitals to the columns (Bays 2-5); Floor Frame: Timber floor; Ceilings: Barrel vaulted brick ceiling (Bay 1); Stairs: Timber staircase and balustrades. Evidence uncovered on the ground, second, third and fourth floors indicates that the four warehouse bays were linked by a single arched opening, except Bays 4 and 5 which had two openings. The ASN building was one of the earliest in Sydney to be fitted with a water sprinkler system to combat fire (c1894), and is possibly the earliest surviving in Sydney. Retains remnant hoist pulleys and other industrial features.</p> <p>It was one of the last substantial warehouses with a timber structural system built in Sydney and incorporates arguably the finest facades. It is also considered rare for its original mixed office and warehouse function.</p> <p>The building is was extensively renovated and conserved in the 1990s. The structure of Bays 1-4 is highly intact while Bay 5 has been seriously compromised by the removal of most of its internal fabric and adaptation to a cinema complex.⁴⁸</p>	 <p>ASN Co Building from George St 2009</p> <p>Source: SHFA (Monique Galloway)</p>
<p>Union Bond Store (former), 47 George Street, The Rocks</p>	<p>1841-1842</p> <p>John Bibb</p>	<p>Heritage Act - State Heritage Register</p>	<p>Style: Georgian-Colonial; Storeys: 3; Roof Cladding: Galvanised Iron; Floor Frame: Timber. The otherwise severe facade of the store is relieved by a pedimented gable with a circular ventilator, horizontal string courses and deeply recessed windows of varying heights.</p> <p>The Union Bond Store is a simple sandstone warehouse built for Martyn & Combes, a 'plumbing, painting and glazing business', (later general merchants). It is considered rare as part of the historic mid nineteenth century group (43-49 George Street) which includes the adjacent Merchants House and its narrow warehouse. The warehouse use can still be readily understood through the retained cathed beam and associated roof structure, internal floor hatch for winching goods between levels and paired warehouse doors on each floor. The machinery associated with the winching process has been removed.</p> <p>Restored in the late 1960s, the bond store was used for offices and named Union Bond as a reminder of the street name prior to 1880.⁴⁹</p>	 <p>Merchants House and Union Bond Store 1970</p> <p>Image by: SCRA (Tim Collis-Bird)</p>


⁴⁸ NSW Environment and Heritage < <http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5053141> >

⁴⁹ NSW Environment and Heritage < <http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5053229> >

<p>16-18 Bulletin Place, Sydney</p>	<p>1880</p>	<p>Unknown</p>	<p>Heritage Act - State Heritage Register Sydney Local Environmental Plan (LEP) 2005</p>	<p>Style: Victorian Georgian. Storeys:4 + Basement. Facade: Cream Brickwork with Coloured Arches, Stone Sills and Timber Windows and Doors. Side/Rear Walls: Brick. Internal Walls: Modern Timber and Metal Stud Partitions with Plasterboard. Roof Cladding: Corrugated Metal. Internal Structure: Timber Posts and Girders. Floor: Joists, Herringbone Strutting and Flooring Boards. Roof: Timber King-Post Trusses. Ceilings: Mostly Exposed Floor Structure. Stairs: Timber</p> <p>16-18 Bulletin Place is the largest of three adjoining similarly-scaled former warehouses in Bulletin Place. Structurally it is divided into four longitudinal bays and two lateral bays, with heavy timber posts, girders, joists, floors and trusses mostly still visible. Retains timber loading doors and overhead cat-head hoist beams and pulleys; one cathead still protected by a gable. The windows have flat segmental arched heads, and sandstone sills. The main walling, laid in Flemish bond, employs cream common bricks said to have been imported from Scotland.⁵⁰</p>	 <p>Source: NSW Environment and Heritage http://www.environment.nsw.gov.au/heritageapp/HeritageItemImage.aspx?ID=5045084#ad-image-2</p>
<p>Central Street Warehouse 8 Central Street, Sydney</p>	<p>c.1880</p>	<p>Unknown</p>	<p>Sydney Local Environmental Plan (LEP) 2005</p>	<p>Remnant facade of a former Victorian warehouse. Storeys:3 Facade: Brick with some stucco. Stone detailing. Timber framed windows. The facade is incorporated into the Century Tower development at 343-57 Pitt Street.</p> <p>The facade is constructed of cream English-bond brickwork with red brick and sandstone embellishment. The upper storey formerly featured a larger loading doorway with a stone band at its head, a red-brick spandrel arch above that and, retains remnants of the former cathead hoist beam. There are two distinctive facade features: a gable parapet with crown-stepped stone copings and a curvilinear apex embellishment and unique chevron or zig-zag quoining, formed of cut red bricks in the upper part of the facade and of stucco in the lower part.</p> <p>The embellished design of the facade is rare and its use of cut-brick chevron quoins is probably unique. It is a representative example of the form and use of a boom period factory and warehouse. Associated with an important local firm of manufacturers and importers.⁵¹</p>	 <p>Source: NSW Environment and Heritage http://www.environment.nsw.gov.au/heritageapp/HeritageItemImage.aspx?ID=2424146#ad-image-2</p>

⁵⁰ NSW Environment and Heritage < <http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2423737>>

⁵¹ NSW Environment and Heritage < <http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2424146>>

<p>F L Barker's Wool and Produce Stores, Gallipoli Legion of Anzac's Club 12-14 Loftus Street, Sydney</p>	<p>c.1876</p>	<p>Unknown</p>	<p>Sydney Local Environmental Plan (LEP) 2005 Draft LEP 2011</p>	<p>Style: Victorian Georgian. Storeys: 3. Facade: Sandstone, face brick, concrete. Side/Rear Walls: Sandstone, concrete. Internal Walls: Sandstone, plastered brick, plasterboard & stud. Roof Cladding: Corrugated steel sheeting. Internal Structure: Steel column & timber beams. Floor structures are all concealed but appear to be timber. Ceilings: Suspended plasterboard. The roof structure is a traditional double purlin (king post) system. Introduced stairs and lift on the northern wall</p> <p>Front facade is extensively modified with later brick parapet (early 20th century) and enlarged aluminium framed openings.</p> <p>One of three surviving wool stores (albeit highly modified) in the vicinity of Circular Quay</p>		<p>Source: Urbis 2012</p>
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The above comparative analysis demonstrates that the Hinchcliff Wool Store is one of only a small group of remaining early stores in the City of Sydney LGA. It is one of three stores retained in the area behind Circular Quay which in the mid-19th century was dominated by similar stores. The Campbell's Cove stores are the only examples remaining on the waterfront. Along with the Campbell's Cove and Dalgety Bond stores, Hinchcliff is representative of the early gabled store typology with King post truss and timber internal structure, the form of which was determined largely by its function, typical construction techniques and building regulations of the period. It is characteristically plain and utilitarian in its facades (save for its sandstone quoining) while others employed more decorative facades, such as the ASN Co Buildings which is arguably the most ornate, with its pre-Federation Dutch gables and later tower element. The Union Bond store, although typical of the typology is also distinguished historically and aesthetically by its context as part of a building group which retains the original attached merchant's house.

Although intact in form, Hinchcliff has been modified with some alterations to principal facade fenestration including new street level entries and modifications/ partial infill to the central loading bays. It retains only the cathead pulleys on the northern and western facades to interpret its former function. The Campbell's Cove store is highly intact and retains some of the original loading doors and manual and hydraulic equipment. The nearby Gallipoli club however has been extensively modified, with later parapet and modifications to facade fenestration. The diminished integrity is reflected in its local listing while most of the remaining stores are of state heritage significance for their historic and aesthetic significance and rarity.

5 Heritage Listings and Statutory Obligations

5.1 HERITAGE LISTINGS

The following heritage listings apply to the subject site.

TABLE 7 – HERITAGE LISTINGS

TYPE OF LISTING	NAME OF ITEM
STATUTORY LISTINGS	
State Heritage Register under the <i>Heritage Act 1977</i> (items of state significance)	Hinchcliff Wool Store/ Ozanam House
City of Sydney Local Environmental Plan 2005 Schedule 8 – Items of Environmental Heritage (items of local significance)	Former Warehouse/ Heritage Inventory Number 2168
Draft Sydney Local Environment Plan 2011 Schedule 5 Items of Environmental Heritage (items of local significance)	Ozanam House Lot 1, DP 104784, Lot 1, DP 723381, Item Number I1999
NON-STATUTORY LISTINGS	
Register of the National Estate (items of local, state or national significance)	Hinchcliff Wool Store (Place ID 2067, dated 01/11/1983)
National Trust of Australia (items of local, state or national significance)	Ozanam House/ Marist Chapel Façade, Formerly Hinchcliff Wool store

5.2 STATUTORY OBLIGATIONS

Works to Hinchcliff Wool Store may require particular approvals depending on the nature of proposed works.

Key commonwealth, state and local legislation, plans, policies and programs and committees affecting the management of the place are described below.

This Section should be referred to in addition to other management plans for the site.

5.2.1 COMMONWEALTH LEGISLATION

Environmental Protection and Biodiversity Conservation Act 1999

The *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) is the Australian Government's environment and heritage legislation. This act is triggered by developments or actions that will have a significant impact on matters of National environmental significance, including world heritage areas, Commonwealth marine areas, nationally threatened species and communities and migratory birds. The EPBC Act includes a process for assessment of proposed actions that have, or are likely to have, a significant impact on matters of national environmental significance. These actions require approval from the Commonwealth Minister, Environment and Heritage.

A new national heritage system was established in January 2004 under the EPBC Act. This led to the introduction of the National Heritage List, which recognises and protects places of outstanding heritage to the Nation, and the Commonwealth Heritage List, which includes Commonwealth owned or leased places of significant heritage value. Hinchcliff wool store is not listed on the National and/or Commonwealth Heritage Lists.

5.2.2 NSW LEGISLATION

Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979* (EPA Act) governs strategic planning and development assessment processes undertaken by State and Local Government in NSW. The Act requires that Local Governments prepare planning instruments (such as Local Environmental Plans [LEPs] and Development Control Plans [DCPs]) in accordance with the Act to provide guidance on the level of environmental assessment required. Development approval for works may be required under Part 3A, Part 4 or Part 5 of the Act.

The subject Hinchcliff Wool Store falls within the boundaries of the Sydney LGA and is covered by the Sydney LEP 2005 and the Sydney Heritage DCP 2006. City of Sydney has also drafted Sydney Local Environmental Plan 2011 and DCP 2010 however the instruments have not yet been gazetted.

Approval is required under this Act for alterations and additions to the. Heritage advice or assessment may be required if works are likely to impact on the overall heritage significance of the place or elements identified in this report as being of exceptional or high significance.

Heritage Act 1977

The Heritage Act is administered by the Office of Environment and Heritage. The purpose of the Heritage Act 1977 is to ensure cultural heritage in NSW is adequately identified and conserved. The Act is the primary item of State legislation affording protection to items of environmental heritage (natural and cultural) in NSW. Under the Heritage Act, 'items of environmental heritage' include places, buildings, works, relics, moveable objects and precincts identified as significant based on historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic values. State significant items are listed on the NSW State Heritage Register (SHR) under Section 60 of the Act and are given automatic protection against any activities that may damage an item or affect its heritage significance.

The former Hinchcliff Wool Store is listed on the SHR.

Historical Archaeology

Historical relics are also protected under the Heritage Act throughout all areas of NSW. If historic relics are discovered on the site during any maintenance or construction works, the Office of Environment and Heritage of the NSW Department of Planning must be notified under Section 139 of the Act.

Section 4(1) of the Heritage Act (as amended 2009) defines 'relic' as follows:

"relic means any deposit, artefact, object or material evidence that:

(a) relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and

(b) is of State or local heritage significance."

Sections 139-145 of the Heritage Act prevent the excavation or disturbance of land known or likely to contain relics, unless in accordance with an excavation permit. Section 60 excavation permits are required to disturb relics within State Heritage Register (SHR) sites, while Section 140 permits are required for sites that are not listed on the SHR. Under the provisions of the *Environmental Planning and Assessment Act 1979* (EP&A Act), excavation permits to disturb relics under Section 60 or Section 140 of the Heritage Act are not required for SSD projects.

National Parks and Wildlife Act 1974

The *National Parks and Wildlife Act 1974* is administered by the Office of Environment and Heritage. Under the Act, the Director-General of the National Parks and Wildlife Service is responsible

for the care, control and management of all national parks, historic sites, nature reserves, reserves, Aboriginal areas and state game reserves. State conservation areas, karst conservation reserves and regional parks are also administered under the Act. The Director-General is also responsible for the protection and care of native fauna and flora, and Aboriginal places and objects throughout NSW (consisting of any material evidence of the Aboriginal occupation of NSW) under Section 90 of the Act, and for 'Aboriginal Places' (areas of cultural significance to the Aboriginal community) under Section 84.

If Aboriginal objects and places are found, the National Parks and Wildlife Service must be informed under Section 91 of the Act and permits may apply under Section 90. A licence may also be required under the Act to damage or destroy threatened fauna species. Penalties apply for the destruction of Aboriginal objects and places, and the harm of any protected species. There are Interim Guidelines for Consultation associated with applications for permits under Section 90 of the Act.

The protection provided to Aboriginal objects applies irrespective of the level of their significance or issues of land tenure. However, areas are only gazetted as Aboriginal Places if the Minister is satisfied that sufficient evidence exists to demonstrate that the location was and/or is, of special significance to Aboriginal culture.

The Act was recently amended (2010) and as a result the legislative structure for seeking permission to impact on heritage items has changed. An s.90 permit is now the only AHIP available and is granted by the OEH. Various factors are considered by OEH in the AHIP application process, such as site significance, Aboriginal consultation requirements, ESD principles, project justification and consideration of alternatives. AHIPs are not required for projects assessed as State Significant Developments (SSD).

As part of the administration of Part 6 of the Act OEH has developed regulatory guidelines on Aboriginal consultation, which are outlined in *Aboriginal Cultural Heritage Consultation Requirements for Proponents* (2010). Guidelines have also been developed for the processes of due diligence - *Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW* (2010), and for investigation of Aboriginal objects - *Code of Practice for Archaeological Investigation of Aboriginal Objects in New South Wales* (2010) in accordance with the 2010 amendment to the Act.

There is one registered Aboriginal site which extends into the study area. Although the coordinates for the site place its location on the southern side of Bridge Street and outside the current subject site (being the site of the archaeological assessment shown at Figure 49), the site detail infers that it would cover the entire extent of the First Government House site, which included the gardens that extended north across the current subject site (including the subject Hinchcliff store).

5.2.3 COMMONWEALTH POLICIES

Building Code of Australia 1996

The Building Code of Australia guides all construction work in Australia. Under the *Local Government (Approvals) Regulation 1993* the consent authority has the discretionary power to require that existing buildings comply with current building standards, as a condition of approval for proposed works to the building. The BCA provisions relate to fire safety, access and egress, and services and equipment.

Any strategies or solutions to ensure that components of the former Hinchcliff Wool Store comply with the BCA should be driven by the cultural significance of the place. Where necessary, alternative solutions and performance based outcomes should be pursued to ensure the intent of the code is met without adversely impacting on significant fabric. Professional advice should always be obtained. Should conflicts arise between compliance and cultural significance the Heritage Council of NSW is able to provide advice and assistance in seeking appropriate compliance solutions through its Fire and Services Advisory Panel.

5.2.4 STATE GOVERNMENT POLICIES

State Environmental Planning Policies

State environmental planning policies (SEPPs) deal with issues significant to the state and people of New South Wales. Various SEPPs may apply to development at Hinchcliff

5.2.5 LOCAL GOVERNMENT POLICIES

City of Sydney Local Environmental Plan (LEP) 2005

A Local Environmental Plan is the principal legal document for controlling development and guiding planning decisions made by Council.

The aims of this plan are:

- (a) to protect and enhance the diversity and special qualities of the City of Sydney, and its surrounding areas, and
- (b) to establish the City of Sydney as the best place to live in, work in and visit, and
- (c) to foster environmental, economic, social and physical well-being so that the City of Sydney continues to develop as an integrated, balanced, sustainable and prosperous living city of world standing, and
- (d) to encourage orderly, sustainable and high quality development of land and other resources within the City of Sydney, and
- (e) to conserve the environmental heritage of the City of Sydney.

Hinchcliff is listed as a heritage item under Schedule 8 of the LEP. The LEP requires consent for certain types of development (including development affecting heritage items) and the consent authority, in considering any proposed development, must have regard to the relevant aims, strategies and principles contained in this plan and may have regard to any published planning and design provisions and policies adopted by the Central Sydney Planning Committee or the Council. Heritage provisions for the Central Sydney area are incorporated under Chapter 2 Part 6 of the instrument. Clause 68 nominates consent required for certain development as outlined below:

- (1) The following development may be carried out only with development consent:
 - (a) demolition of a heritage item or building in a heritage streetscape,
 - (b) structural or non-structural alterations to the exterior or interior of a heritage item,
 - (c) structural or non-structural alterations to the exterior of a building in a heritage streetscape that is not a heritage item,
 - (d) erection of a sign or advertising structure on a heritage item,
 - (e) erection of a building on the site of a heritage item or building in a heritage streetscape,
 - (f) subdivision of a site of a heritage item.

Draft Sydney Local Environmental Plan (LEP) 2011

The draft LEP has been exhibited in accordance with the Environmental Planning and Assessment Act 1979 however has not yet commenced. When gazetted, all local environmental plans and deemed environmental planning instruments applying only to the land to which this Plan applies are repealed (including the City of Sydney LEP 2005).

As with the 2005 LEP, the plan aims to conserve the environmental heritage of the City of Sydney. Under the Sydney LEP 2011, provisions 5.10 refer to heritage conservation.

Hinchcliff **is** listed as a heritage item under Schedule 5 of the LEP.

5.3 NON STATUTORY LISTINGS

Listing on non-statutory registers does not provide any legal protection to heritage items or sites, but does demonstrate the recognised heritage value of items.

Register of the National Trust

The Register of the National Trust was established in 1949 and is maintained by the National Trust of Australia.

Hinchcliff Wool Store (facade) is listed on the Register of the National Trust.

Register of the National Estate

The Register of the National Estate is a list of natural, Indigenous and historic heritage places throughout Australia. It was originally established under the Australian Heritage Commission Act 1975. Under that Act, the Australian Heritage Commission entered more than 13,000 places in the register. Following amendments to the Australian Heritage Council Act 2003, the Register of the National Estate (RNE) was frozen on 19 February 2007 and ceased to be a statutory register in February 2012. The RNE is now maintained on a non-statutory basis as a publicly available archive and educational resource.

Hinchcliff Wool Store is listed on the RNE (Place ID 2067, dated 01/11/1983)

6 Conservation Policies

6.1 WHAT IS A CONSERVATION POLICY?

This Section provides guidelines and policies to guide the conservation and development of the former Hinchcliff Wool Store.

A conservation policy explains the principles to be followed to retain or reveal a place's heritage significance, and how the significance can be enhanced and maintained. This relies on a full understanding of the item's significance and a review of the constraints and opportunities arising out of that significance.

6.2 STATUTORY OBLIGATIONS

Various state legislation applies to the management of the former Hinchcliff Wool Store/ 5-7 Young Street, Sydney.

The subject site is listed on the SHR under the Heritage Act and is also listed as a heritage item on schedule 8 of the City of Sydney Local Environment Plan 2005. Approvals are required for development works to the heritage item except where exemptions apply or for maintenance or minor works.

Guidelines

- Management of the site under legislation should be guided by the site's significance, this CMP and the following policies.
- Future proposed changes to the building need to be undertaken in accordance with the relevant LEP and DCP. A heritage impact statement or archaeological assessment may be required to assess any works to the place.
- The Office of Environment and Heritage and City of Sydney should refer to the CMP when considering proposed changes to the building.

6.3 HERITAGE SIGNIFICANCE

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric. One of the key objectives therefore, of contemporary conservation practice is to retain as much of the **significant** original fabric as possible, in order to preserve the essential integrity of the heritage resource.

The former Hinchcliff Wool Store is of state heritage significance for its historical, aesthetic and representative values and for its rarity. Various built components contribute in different ways to the overall significance of the building and the degree of change considered appropriate is dependent on its assessed level and grading of significance. Elements with a higher grade of significance will have greater constraints on change.

Guidelines

- The Statement of significance embodies the core heritage values of the building and all future decisions and works to the building must be guided by the statement of significance and the identified significant spaces, fabric and building elements identified in this CMP together with any additional detailed research and assessment. The significance is defined in section 4.4 of this report with schedule of significant elements provided in section 4.5.
- Owners, occupiers and stakeholders responsible for and involved in the maintenance and management of the building should be aware of the identified significance and aim to conserve and enhance this significance as well as identified significant internal and external fabric and spaces.

- Works should be undertaken in accordance with the principles of the Australia ICOMOS Burra Charter.

Policy 1. Elements of **exceptional significance** are rare or outstanding elements that directly contribute to the place's overall heritage significance. They demonstrate a key aspect of the place's overall heritage significance and should be retained and conserved in-situ. Any change should be minimal and retain significant values or fabric

Elements of **high significance** have a high degree of original fabric; they demonstrate a key aspect of the place's overall heritage significance and should be retained and conserved; retention should be considered in-situ; minor change is allowed so long as significant values and fabric are retained and conserved.

Elements of **moderate significance** have been altered or modified or do not demonstrate a key aspect of the significance of the place; they contribute to the place's overall heritage significance however change is allowed so long as it does not adversely affect values and fabric of exceptional or high significance.

Elements of **little significance** do not substantially add to the significance of the place in a positive way, though neither do they detract from its overall significance. Elements of little significance may also reflect fabric that may have been substantially altered or modified or may reflect non-significant phases of development. Changes are allowed so long as it does not adversely affect values and fabric of exceptional or high significance.

Elements identified as **neutral** do not contribute or detract from significance. The attribution of 'neutral' typically applies to introduced new or utilitarian fabric that does not relate to a significant historical period or use. Changes are allowed so long as they do not impact on associated fabric of higher significance.

Intrusive elements are damaging to the place's overall heritage significance; they should be considered for removal or alteration;

Policy 2. All future decisions and works to the building must be guided by the statement of significance and the significant spaces, fabric and building elements identified in this CMP together with any additional detailed research and assessment.

Policy 3. Elements of exceptional or high significance should not be obstructed by new works, structures or services, and they should be clearly visible and interpreted as part of any new works;

Policy 4. Where elements of exceptional or high significance have been damaged they should be repaired with sympathetic materials in preference to replacement. Significant elements should be repaired in-situ where-ever possible;

Policy 5. Any significant elements proposed for demolition or removal should be subject to archival photographic recording, copies of which should be retained on site and provided to the consent authorities (OEH and City of Sydney). This should include photography and/ or measured drawings. Archival recording should be undertaken in accordance with the Heritage Council of NSW Guidelines for Photographic Recording Managing Cultural Significance

Policy 6. Fabric or elements of high or exceptional significance uncovered in new works or investigations (such as original timber flooring or structures) should be exposed and restored where condition permits.

Policy 7. The Hinchcliff wool store is of state significance for its historic, aesthetic and representative values and for its rarity and should be retained and conserved (this does not preclude sympathetic alterations in association with regulatory conditions and ongoing use of the building).

6.4 MAINTENANCE

Background

The former Hinchcliff Wool Store requires regular maintenance and upgrade works to conserve its heritage significance and identified significant fabric. Change should also be considered with a goal to conserve and enhance the identified heritage values of the asset, wherever possible, while accommodating its continued use.

Guidelines

- Fabric identified as exceptional or highly significant should have priority works undertaken when required. Impact on significant fabric should be considered and the appropriate approvals sought.
- Management and maintenance of the asset should aim to conserve its heritage significance to the greatest extent feasible. Works should be sympathetic to highly significant fabric and repairs should be undertaken over replacement, if possible.
- A schedule of ongoing maintenance has been prepared in section 7 to guide the conservation of fabric at the site. The schedule should be adopted as minimum requirement for maintenance works.
- Maintenance works to the former Wool Store building should be undertaken on a regular basis to avoid substantive conservation works.
- Any repair, conservation or reconstruction works to significant elements or facades should be undertaken with appropriate supervision by a suitably qualified heritage consultant /architect and/ or relevant materials specialist/s or conservator;

Policy 8. The significant fabric of the building should be maintained by the implementation of a cyclical maintenance program. As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric. Maintenance should be in accordance with the Heritage Office Guidelines;

Policy 9. The schedule of maintenance works (Section 7 Table 10) should be adopted as part of the ongoing management and maintenance of the property.

Policy 10. The schedule of Conservation works (section 7 Table 9) should be undertaken as part of long term management and maintenance of the property

6.5 USE

Background

The ongoing use of heritage items is vital to retention of heritage significance and maintenance of the item. The former Hinchcliff Wool Store was purpose built as a store in the common vernacular of the period however few are surviving. It is currently occupied by the E. F International English School. The consideration of any future uses of the building must be mindful of its original historic use and significance. A range of uses may be permissible, providing that the use does not negatively affect interpretation of its identified significance.

Guidelines

- It is preferable that the building retains an office or retail function or use that preferably enables provision of an open plan interior and has regard to the identified significant fabric.

Policy 11. Any proposed adaptive re-use of the former Hinchcliff Store should be compatible with the nature and significance of the building. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance would not be acceptable;

- Policy 12. Any future adaptation of the interior to suit new uses should be reversible and should not involve alterations to exceptional or highly significant fabric such as timber posts and beams, floors and load bearing masonry structures;
- Policy 13. New and future uses should not require excessive partitioning of the interiors and should not obscure significant fabric or impact on facades;
- Policy 14. Where new internal fit outs are undertaken, it is preferable that existing intrusive fabric, including dropped ceilings, wall linings and/ or the concrete stair are removed and the original timber and masonry structures exposed;

6.6 ALTERATIONS AND NEW WORKS

Background

Any proposed modifications to the heritage item must take into consideration the identified significance and must have regard for the total resource.

Guidelines

- The original external envelope and significant character as a utilitarian store is to be retained, conserved and interpreted;
- Unsympathetic alterations and additions or alterations that dominate the heritage character of the building are discouraged;
- Removal of intrusive fabric (as identified in the CMP) is encouraged
- Except where covered by the OEH Standard Exemptions, modifications to the building may be subject to undertaking a formal heritage impact statement in accordance with Office of Environment and Heritage Guidelines.
- Proposed alterations should consider adjacent heritage items and streetscape character;

External paint schemes and finishes

- New paint schemes for the façade should be in keeping with the character and period of the building;
- New colours schemes should be consistent with City of Sydney guidelines for external colour schemes.
- The ashlar lined profile of the render to the northern, eastern and part western façades should be retained

Signage

- New signage should utilise existing fixings where possible or fix into mortar joints. Signage should be limited to the ground floor tenancy entries, with no new parapet signage.
- New signage should be consistent with relevant City of Sydney signage policy and/ or guidelines.

Compliance and services

- New works should comply with the Building Code of Australia unless the heritage significance determines that the matter will be professionally determined under performance standards.
- Any modification to significant fabric or spaces in the building for BCA compliance purposes may be subject to undertaking a formal Heritage Impact Statement in accordance with the Office of Environment and Heritage Guidelines.

- Where possible, services (including air conditioning units) should not be fixed to the principal Young Street or Customs House Lane facades.
- Security grills attached to the western façade should be replaced in a manner that has a neutral impact on the façade.
- Fixings for external lighting should, where possible, reuse existing services and fixing points into the façade.
- Lighting strategies should be consistent with City of Sydney Council lighting policy;
- Where practicable works for fire safety should not detract from significant facades, finishes or elements. Should conflicts arise between compliance and cultural significance the Heritage Council of NSW is able to provide advice and assistance in seeking appropriate compliance solutions through its Fire and Services Advisory Panel.

Sustainability

- New works should aim to reduce the environmental impact of new construction and building fit-outs;
- Building users and Managers should understand the impacts that the 'use' of the building will place on the existing thermal properties of the building. If the use will increase the levels beyond that which can be managed by passive solutions, and the required modifications present an unacceptable level of intervention, the use may not be supported.
- Works to achieve sustainability outcomes should also consider conservation objectives and may not be supported where required modifications may detrimentally impact on identified significant fabric or finishes.

- Policy 15. New works should not diminish the interpretation of the former building use or the association with the wool broking firm of Hinchcliff and Son;
- Policy 16. The form, scale and general configuration of the former Hinchcliff wool store should be retained. There should be no vertical extension of the building, even if set back.
- Policy 17. Existing new/ modified street level entries to Young Street and the western Loftus Lane elevations may be modified however no new openings to the street or laneway should be permitted;
- Policy 18. Original/ early windows, doors and warehouse loading bays in all facades should not be enlarged or filled in.
- Policy 19. Any proposal to alter the facades should respect the pattern of original fenestration
- Policy 20. Reconstruction based on historical evidence may be desirable for the fenestration within the central loading bays however there is an opportunity for high quality contemporary insertions that do not require the removal of original fabric.
- Policy 21. Elements which interpret the former wool store function of the building such as the cat-head beams, pulleys, parapet detailing and the raised letter sign on the northern parapet should be conserved with appropriate maintenance;
- Policy 22. Painted stucco surfaces should continue to be painted in a traditional colour scheme. Existing unpainted sandstone and brick should remain unpainted and un-rendered.
- Policy 23. New signage should be restricted to ground floor level. No new parapet signage or signage within the label moulds with the eastern façades should be permitted.
- Policy 24. External lighting should be minimal and sympathetic to the heritage character of the façade. There is an opportunity for external lighting to enhance architectural features.
- Policy 25. Removal of dropped ceilings and wall lining/ cladding is desirable to expose original timber beam and posts and masonry construction. No new ceilings should be introduced.

- Policy 26. New partitioning and/ or services should not disrupt interpretation of the original open plan interior or volume of the space;
- Policy 27. In principle, no new openings should be made in the sandstock brick wall dividing the northern and southern stores. Any exception to this principle should be thoroughly investigated as to the necessity for such an application;
- Policy 28. Any new openings in the southern wall to connect to adjoining properties or new development should utilise existing infilled openings and retain traditional proportions;
- Policy 29. Where redevelopment of the adjoining site is proposed there is an opportunity to locate services and stair access for this site within the new development and to be subject to Policy 28;

6.7 ARCHAEOLOGY

Background

The archaeological potential has been assessed as moderate.

Guidelines

There are no known archaeological remains on the subject site; however the following recommendations are made:

- If any Aboriginal remains were discovered during works, works should immediately cease and the National Parks and Wildlife Service of the Office of Environment and Heritage should be contacted for further advice, as required under Section 91 of the *National Parks and Wildlife Act 1974*.
- If historical archaeological remains were found during works, works should immediately cease and the Heritage Branch of the Office of Environment and Heritage should be contacted for further advice, as required under Section 139 of the *Heritage Act 1977*.

- Policy 30. Where development is proposed that has the potential to impact on the archaeological resource, an Aboriginal Archaeological Impact Assessment and a Historical Archaeological Impact Assessment and Research Design should be prepared. This should include recommendations to investigate and manage the potential archaeological resource, including whether archaeological monitoring or test excavation would be appropriate. The Aboriginal Archaeological Impact Assessment should also take into consideration the potential for Aboriginal burials to occur where there is natural ground surface. Excavation permits may be required prior to impacts, unless the proposed developed is approved as a State Significant Development (SSD) in which case archaeological investigations would adhere to the Director General's Requirements (DGRs).

6.8 CURTILAGE, SETTING AND VIEWS

Background

The Former Hinchcliff store retains its original subdivision and is built over the entire allotment, such that the built footprint forms the physical curtilage of the building. The visual curtilage however extends to incorporate limited views from Young Street. The site also contributes to the interpretation of the adjacent Customs House.

- Policy 31. The significant façades and overall form of the building should be visible and not obscured by new development. There should be no additions cantilevering over the site;
- Policy 32. The visual relationship between Hinchcliff and Customs House and the nearby Gallipoli Club (12-14 Loftus Street) should be retained;

- Policy 33. All works to the rear Loftus Lane and Customs House Lane should enhance the setting of the site;
- Policy 34. Development in the vicinity of Hinchcliff should have regard to the heritage significance and setting of the place;
- Policy 35. No vehicular access should be permitted within or below the structure;

6.9 INTERPRETATION

Background

The former use and heritage values of the building should be interpreted for public education and understanding. The history as outlined in section 3 and the significant features as identified in section 4.5 of this report should form the basis of this interpretation. Low-key, robust and largely self-guided interpretation would be most appropriate and may include (but is not limited to) signage or website information. Currently there is no heritage interpretation at the site.

Guidelines

- Interpretation should be consistent with the NSW Heritage Manual, the NSW Heritage Branch Interpreting Heritage Places and Items: Guidelines (August 2005) and the NSW Heritage Branch's Heritage Interpretation Policy (endorsed by the Heritage Council August 2005)
- Policy 36. An interpretation strategy should be prepared for the site that interprets the significant use and historical values of the site. The strategy should consider the development and function of the site for the Hinchcliff wool store in the context of the broader 19th century wool industry as well as the former function of the site as part of the Governors Domain.
- Policy 37. Interpretation of the site should incorporate in-situ retention of industrial relics, significant fabric, spaces and or elements, particularly where elements are associated with the significant wool store use. This includes original Hinchcliff's wool store building signage, remnant cathead beam and pulleys and the internal timber post and beam and King post truss construction;
- Policy 38. Any Interpretation should be considered strategically, with consideration for future uses, ongoing maintenance of interpretive media, public access and amenity issues and ordinance compliance;

6.10 ADOPTION, IMPLEMENTATION AND REVIEW

Background

Any works to the property should comply with appropriate legislation, policies and guidelines, as amended from time to time, including but not limited to the Heritage Act 1977 (NSW), the Building Code of Australia, the Australia ICOMOS Burra Charter 1999 and relevant City of Sydney Council LEP and DCP documentation.

Guidelines

- Any works to the place should be carried out in accordance with the principles set out in the Australia ICOMOS Burra Charter.
- Any works to make the place comply with Building Code of Australia requirements should be governed by the heritage significance of the place.
- This CMP should be adopted by present and future owners and used as a guide for the management, conservation and maintenance of the place
- All persons responsible for the management and maintenance of the former Hinchcliff wool store should be familiar with the significance of the place and the conservation policies in this report.

- This CMP should be reviewed and updated within 10 years to remain relevant to ongoing change and use of the place, and statutory compliance. Prior to the review, if substantial change in the management or use of the place is proposed that are not covered by policies in this report then the policy section should be reviewed. Irrespective of the requirement to review the document every 10 years, the CMP should remain as a valid basis for on-going heritage management until such reviews are completed. Reviews of the CMP should be based on The Burra Charter and other guidelines by the NSW Heritage Branch. Reviews should also take into account any other relevant legislation, planning frameworks and widely recognised conservation practices and procedures. Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Conservation works undertaken in accordance with the CMP should involve experienced heritage and conservation professionals.

Policy 39. A copy of this conservation management plan should be retained on site at all times for use by those responsible for the management and conservation of the place.

Policy 40. A copy of the plan should be submitted to City of Sydney Council and to the Office of Environment and Heritage (Heritage Branch) for research purposes.

Policy 41. This conservation management plan should be submitted to City of Sydney Council and OEH as part of any application for new works. Where appropriate or requested, it should be accompanied by a heritage impact statement that assesses the specific impacts of the proposal against relevant legislation and policies in this CMP.

Policy 42. This conservation management plan should be adopted by present and future owners and used as a guide for management and conservation of the place.

6.11 IMPLEMENTATION STRATEGIES

The following table lists strategies for implementing the conservation policies for the former Hinchcliff Wool Store.

The strategies have been cross-referenced to conservation policies above and prioritised as follows:

- high priority works should be undertaken within the next two to four years;
- medium priority works should be undertaken within the next four to six years, and
- low priority works should be undertaken within the next six years.

TABLE 8 – IMPLEMENTATION STRATEGIES FOR CONSERVATION POLICIES

STRATEGY	CONSERVATION POLICY	PRIORITY
Implement cyclical maintenance schedule, as outlined in Table 10 below	Policy 9	High
Implementation of the schedule of conservation actions as outlined in Table 9 below	Policy 10	High
Undertake interpretation strategy	Policy 36	High
Provide copies of the CMP to OEH, council, tenants, and relevant stakeholders	Policy 40 or as per the recommendations of Section 6.10	High
Undertake CMP review	Section 6.10	As directed in the guidelines

7 Conservation and Maintenance Schedules

In general terms, the significant fabric of the building is in good condition. However to assist the property owners to manage the heritage significance of the former Hinchcliff Wool Store, 5-7 Young Street, Circular Quay as well as its functional requirements, the following schedules of conservation and maintenance works and guidelines have been prepared.

The required works have been prioritised as follows:

- high priority works should be undertaken within the next two to four years;
- medium priority works should be undertaken within the next four to six years, and
- low priority works should be undertaken within the next six years.

TABLE 9 – SCHEDULE OF CONSERVATION WORKS

ELEMENT	CONSERVATION	TIMING
Structure	<p>Undertake structural engineer's assessment of the building, with particular consideration of the following elements:</p> <ul style="list-style-type: none"> ▪ Structural impact of missing timber post members throughout the building; ▪ Structural impact of removed brick piers in conjunction with new openings to the central wall; ▪ Investigation of cracking/ movement at the juncture of the western façade and central wall; ▪ Investigation of failed and missing brick work to the level 1 central wall (west end); ▪ Investigation of reinforced loading bay arches (eastern elevation); ▪ Investigation of the level 2 central arch to the interior dividing wall which indicates failing mortar and missing joints; 	High
Northwest corner of the façade/ ground floor	Remove later built out render to the façade to expose the sandstone base courses and reinstate ashlar line rendered finish.	High
Ground floor northern façade, central brick wall and southern wall (exposed sandstone areas only)	<p>Investigate and mitigate rising damp and salt attack</p> <p>Repoint lime mortar in southern wall (ground floor)</p>	High
Interior face brickwork	<p>Stabilise/ repair and conserve brickwork and repoint mortar throughout, where surfaces have been damaged by removal of render and other finishes.</p> <p>Any new pointing should closely match the original mortar in both shape and materials</p> <p>Patch or repair areas of missing or failed brickwork with like materials and in conjunction with heritage/ specialist advice</p>	High

Minimum standards of maintenance and repair under Section 118 of the *Heritage Act 1977* and as specified in the *Heritage Regulations 2005*, is recommended to be applied to the asset to ensure its long-

term conservation. The minimum standards refer to weatherproofing, fire protection, security and essential maintenance, to ensure that the significance of the place is retained.

The following schedule of works should be incorporated into maintenance actions as part of property management. The intent of the recommended maintenance is to maintain the identified level of heritage significance for individual elements.

TABLE 10 – SCHEDULE OF ONGOING MAINTENANCE WORKS

ELEMENT	MAINTENANCE	TIMING
Exterior		
Masonry façades	<p>Inspect for loose, fretted, broken or missing mortar joints to stone/ bricks particularly around windows, doors, along flashings and on cornices. Check for incompatible mortar.</p> <p>Inspect for cracking stone or brickwork. Check if the masonry is spalling, delaminating, crumbling or has evidence of surface salt that indicates a moisture problem.</p> <p>Inspect for peeling paint which may indicate damp.</p> <p>Repoint masonry where necessary</p> <p>Repaint as required (retaining ashlar line render – except on the south store/ western façade)</p>	<p>Every 5 years</p> <p>As required</p>
Timber window frames	<p>Inspect for loose or damaged mouldings or joints, weathered sills and or broken sash cords</p> <p>Inspect for weathering and decay or for evidence of infestation</p> <p>Inspect paint coatings annually for peeling, cracking and other defects. Maintenance repainting</p> <p>Inspect and repair/ replace broken glazing</p>	<p>Every 2 years</p> <p>Annually (repaint every 7 years based on annual inspection)</p> <p>Annually or as needs</p>
Steel window frames (western façade)	<p>Inspect for loose, damaged or rusted mouldings, architraves or decayed/ weathered sills. Check operability and internal faces around windows for stains that can indicate failure of seals and flashing. Check caulking.</p> <p>Inspect paint coatings annually for</p>	<p>Every 2 years</p> <p>Annually (repaint every 7 years based</p>

	<p>peeling, cracking and other defects such as rust. Maintenance repainting</p> <p>Inspect and repair/ replace broken glazing</p>	<p>on annual inspection)</p> <p>Annually or as needs</p>
Roofing	<p>Corrugated iron sheeting:</p> <p>Inspect for loose or raised fixings, soldered joints that have cracked, sheet edges and surfaces that are deformed/dented.</p> <p>Look for rust stains around fixings, where sheets are lapped and around flashings. Check for dissimilar metals at flashings. Loose fixings can indicate batten failure</p> <p>Generally:</p> <p>Inspect flashing, cappings, guttering. Clear rubbish/ debris</p>	<p>Every 7 years</p> <p>Every 4-12 months or following major storm events</p>
Generally	<p>Inspect areas for growth from joints, graffiti and sign of infestations.</p> <p>Inspect stormwater and drainage</p> <p>Avoid:</p> <p>Applying to stonework anti-graffiti or protective coatings whose effectiveness has not been proven</p> <p>Inappropriate cleaning of masonry, for example; strong water jet cleaning or detergents that can damage the masonry.</p>	<p>Every 6-12 months</p>
Interior		
Walls	<p>Inspect for cracks that can indicate structural movement. Where significant cracking is evident, undertake inspection with structural engineer.</p> <p>Check if the surfaces or finishes are cracked or drummy, or have surface salts which can indicate rising damp or water penetration</p> <p>Inspect wall tiles in amenities for cracks, damage or watertightness.</p>	<p>Every 5 years</p>

<p>Timber structure (Post and beams and King post truss, timber floors)</p>	<p>Check whether members are secure and true. Inspect for swelling, shrinkage or cracking.</p> <p>Inspect for fungal rot, termites or borers or other infestation</p> <p>Inspect finishes such as paints, varnishes, waxes and oils.</p> <p>Inspect floorboards for loose, cracked or failing boards</p>	<p>Annually</p>
<p>Services</p>	<p>Inspect fire services and fixtures including sprinkler and hydrant line, exits signs, smoke detectors and controls, fire control room, fire doors etc.</p> <p>Inspect walls, roof and other building elements, doors, windows and other closures, glazing, locking and latching mechanisms. Inspect electronic surveillance and alarm systems and any other security components</p>	<p>As per standard for fire safety and building compliance</p> <p>Annually</p>
<p>Urgent repairs</p>	<p>This may include but is not limited to:</p> <ul style="list-style-type: none"> ▪ Blocked or broken stormwater and sewer lines that require clearing or repair. ▪ Clearing of blocked gutters and downpipes ▪ Broken water service. ▪ Damaged or defective light fittings and switches. ▪ Failed incandescent light bulbs or fluorescent tubes. ▪ Storm damage to building fabric. ▪ Vandalism or break and enter damage to windows and doors. ▪ Broken or defective locks and latches, replacement of keys or lock cylinders. 	<p>As they occur</p>

MAINTENANCE MANAGEMENT

The responsibilities of a nominated building manager are outlined as below:

- Ensuring the continuous protective care of Hinchcliff Wool Store/ 5-7 Young Street, Sydney is carried out in accordance to the Long Term Cyclic Maintenance Plan.
- Ensuring responsible and competent trade people experienced in heritage work and traditional materials and methods carry out maintenance on the site where necessary.
- Maintaining an up to date trade persons register.
- Ensuring all maintenance work carried out, including description of the work, date of completion, estimated and actual cost, contractor and warranties have been properly recorded in a "Maintenance Log Book".
- Recording reported defects, emergency corrective maintenances and expenses;
- Ensuring all periodic inspection surveys have been done in accordance to the Maintenance Plan.
- Ensuring all work to be carried out does not detrimentally affect the significant fabric of the subject building (significant elements have been identified in section 4.5 above).
- Programming and coordinating maintenance work involving a number of interrelated works to be carried out in appropriate order and working hours.
- Ensuring maintenance works to be carried out do not disturb and/or conflict with the requirements of the occupants and the users of the building. Note that some work may need to be carried out "out of work hours".
- Ensuring documentation (e.g. drawings and samples of workmanship, materials or components) of the maintenance and repair works, as appropriate for the job, have been done by specialists where necessary.
- Maintaining samples for future identification and usage as reference.

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[Note: Some government departments have changed their names over time and the above publications state the name at the time of publication.]

Appendix A

Sydney Heritage Listing

Heritage Data Form

ITEM DETAILS					
Name of Item	Former Hinchcliff Wool Store (5-7 Young Street, Sydney)				
Other Name/s Former Name/s	E. F International English School Former Maternal Heart of Mary Marist Chapel				
Item type (if known)	Former wool store				
Item group (if known)					
Item category (if known)					
Area, Group, or Collection Name					
Street number	5-7				
Street name	Young Street				
Suburb/town	Sydney	Postcode	2000		
Local Government Area/s	City of Sydney				
Property description	<p>The building is constructed in the Victorian Regency style, characteristic of small stores of the period. The building is three storeys, constructed in Sydney sandstone and sandstock brick, faced externally in stucco with a painted finish. The store comprises two gabled bays, approximately 7.6m in width with a parapeted façade to the northern elevation, bearing the raised lettering "Hinchcliff's Wool Store". Each of the stores features a central loading bay under the gable, flanked by double hung sash windows with stone sills. The facades are embellished by sandstone quoining to the corners and windows, and stucco moulding featuring arched label moulds within the gabled bays and ball finials at the gable apexes. The gabled roof is clad in corrugated iron.</p> <p>Overall the building is in good condition with some minor deterioration of sandstone and some damp evident. The facades have been modified in conjunction with contemporary access and uses. Remnant industrial features survive including signage and remnant cat head pulleys.</p>				
Location - Lat/long	Latitude		Longitude		
Location - AMG (if no street address)	Zone		Easting	Northing	
Owner	Australian Mutual Provident (AMP) Society				
Current use	It is currently occupied by the E. F International English School.				
Former Use	Purpose built wool store in the common vernacular of the period.				
Statement of significance	<p>The former Hinchcliff Wool Store at 5-7 Young Street is of State heritage significance for its historic, aesthetic and representative values, and as a rare example of a largely intact vernacular wool store of the mid-19th century.</p> <p>The store demonstrates the former use and function of Circular Quay as the principal trading port of the colony of NSW and as such, contributes to the interpretation of the adjacent Customs House. It reflects the shift in the market centre for wool to the colonies over London and reflects the significance and expansion of the Australian wool industry, and the economic importance of wool as Australia's chief export. The extension of the wool store circa 1882 with the construction of the</p>				

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	<p>northern store reflects the boom period in the wool industry circa 1870-1880. The store is associated with noted wool broker Thomas Holt junior and John and Andrew Hinchcliff, (wool merchants) and the firm of Hinchcliff, Son and Co. which was widely and favourably known as one of the oldest and largest firms connected with the wool trade of New South Wales.</p> <p>Hinchcliff is of aesthetic and representative significance for its form, materials and design which typifies the first generation of wool stores which dominated Circular Quay in the mid-19th century. The store features characteristic masonry brick and sandstone facades, with gables over loading bays and original cathead pulleys, internal timber post and beam construction with king post truss roof and exposed timber floors.</p> <p>The store is one of only two surviving stores within the vicinity of the Quay and one of only a small group of surviving smaller stores in the broader LGA and is considered rare. The store is of moderate to high integrity and extant equipment associated with the store use (such as the cathead beam and pulleys) are also rare.</p> <p>The archaeological potential of the store and associated Customs House Lane and Loftus Lane has been assessed as moderate however archaeological deposits associated with the First Government House garden, or Aboriginal burials are potentially of National heritage significance.</p> <p>The former store is also of local significance for its association with the St Vincent's De Paul Society serving variously as the Offices of the Secretariat and housing the Matthew Talbot Hostel for destitute men and the Maternal Heart of Mary Marist Chapel over the period of its approximately 40 year occupancy.</p>	
Level of Significance	State <input checked="" type="checkbox"/>	Local <input type="checkbox"/>

DESCRIPTION	
Designer	Unknown
Builder/ maker	Unknown
Physical Description	<p><u>External</u></p> <p>The property is constructed in the Victorian Regency style, characteristic of small stores of the period. The building is three storeys, constructed in Sydney sandstone and sandstock brick, faced externally in stucco with a painted finish. The store comprises two gabled bays, approximately 7.6m in width with a parapeted façade to the northern elevation, bearing the raised lettering "Hinchcliff's Wool Store". Each of the stores features a central loading bay under the gable, flanked by double hung sash windows with stone sills. The facades are embellished by sandstone quoining to the corners and windows, and stucco moulding featuring arched label moulds within the gabled bays and ball finials at the gable apexes. The gabled roof is clad in corrugated iron.</p> <p>The facades have been modified in conjunction with contemporary access and uses. Remnant industrial features survive including signage and remnant cat head pulleys.</p> <p><u>Internal</u></p> <p>The wool store is of characteristic construction, with sandstock brick internal walls, hardwood timber floors, post and beams and king post truss system with dressed members. The interior has been variously altered in conjunction with various office and other uses post 1945, including new stairs throughout, partitioning, upgraded fire protection services, new WCs/ bathrooms and services and rendering of some internal walling.</p>
Physical condition and Archaeological potential	<p><u>Physical condition</u></p> <p>Overall the building is in good condition with some minor deterioration of sandstone. Rising damp is evident in the lower sandstone courses. Downpipes and rainwater heads appear to be in good condition, including some recent replacements. The facades have been modified in conjunction with contemporary access and uses.</p>

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	<p>On the ground floor of the southern store the limestone mortar is in poor condition and requires repointing along the southern elevation and there is evidence of salt attack/ damp.</p> <p><u>Archaeological potential</u> The archaeological potential of the store and associated Customs House Lane and Loftus Lane has been assessed as moderate however archaeological deposits associated with the First Government House garden, or Aboriginal burials are potentially of National heritage significance.</p>					
Construction years	Start year	Late 1870 (southern store)	Finish year	c.1882 (northern store)	Circa	<input checked="" type="checkbox"/>
Modifications and dates	<p>In 1945 the site housed the C.U.S.A Club Room and offices and incorporated the Club Room, Dining room and kitchen, a ladies room and parlour on the ground floor, a Chapel on the first floor and proposed dormitory, caretakers room and bathroom facilities on the second floor.</p> <p>A new entry was added to the eastern Young Street façade of the northern store (no.5) in 1948. The opening extended an existing window opening and included the removal of the stonework from the sill down to the street level.</p> <p>A new awning was provided in 1950, matching the previous structure. A new reinforced concrete stair replaced the original stair at this time. Further works were undertaken to extend the new stair in 1950, in conjunction with compliance. The DA also included works to the ground floor including partitioning for offices and provision of a new window adjacent to the entry on the Young Street façade on the southern store in conjunction with interim DA approval 100/50.</p> <p>In 1952, an application was approved for conversion of the northern store to include works to bathrooms and ventilation services, partitioning for the proposed ground and first floor dormitory areas and provision of a kitchen on the ground floor.</p> <p>Alterations were approved for a new entry to the Young Street façade of the northern store (no.5) in 1966 (to the current arrangement). Works included enclosing the 1948 entry to Young Street and construction of a window to match the existing fenestration. Internally the works included enclosing the door between the two stores. It is likely that the entry was constructed in conjunction with occupation of the ground floor of the northern store as the Maternal Heart of Mary Marist chapel, which persisted until at least 2005. Renovations for the chapel included revealing the sandstock brick wall and archway that had been hidden behind plaster. These were retained and fittings including sanctuary lamp and the ciboria were specially designed to blend in with the existing colour scheme</p>					
Further comments						

HISTORY

Historical notes	<p><u>The Former Governor's domain</u> The subject site was formerly part of the grounds of the First Government House which was built soon after the arrival of the First Fleet. In a plan of the Governor's Domain dating to 1816, the area of the subject site is shown within a "Pleasure Ground" located between First Government House and the shore. As part of the Governor's Domain, the subject site remained largely undeveloped until after the new Government House was built and the First Government House was dismantled in 1845.</p> <p><u>Early land grants and occupation</u> Early mapping of Sydney Cove indicates development in the vicinity of Customs House as early as 1845 and the subject site is shown as subdivided although not yet developed in the Woolcott and Clarke plan of 1854.</p>
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The site comprises allotment 12 of Section 103, originally granted to Thomas Woolley by Crown Grant 13th June 1853 and allotment 13 of section 103 originally granted to Thomas Holt Junior by two deeds of grant dated 13/06/1953 by Governor General Sir Charles Augustus Fitzroy. Holt had acquired the southern (lot 12) by 1863.

Holt senior was one of the oldest and most respected wool merchants and manufacturers in Leeds. Holt and his wife sailed for Australia aboard the *Helvellyn* in 1842. He was made a magistrate and as one of Sydney's most prominent financiers was a foundation director and member of several gold-mining, insurance (including the Australian Mutual Provident (AMP) Society) and railway companies. Holt commenced business as a wool merchant with a two storeyed wool and general store two houses below the Haymarket known as 136 George Street South. Holt retired from the wool business in 1854 following a fire which destroyed his George Street store.

As noted above, the northern lot 13 of the subject site was granted to Holt in 1853 and he had acquired the southern (lot 12) by 1863. The 1856 City Detail Sheet records the subject site as occupied by two structures of iron and stone construction. Holt's allotment is recorded in the 1858 City of Sydney Assessment Book as occupied by Ed Joy and Co Store and offices. Early advertisements indicate that Ed Joy and Co worked in partnership with Andrew Hinchcliff, woolbroker for A. Hinchcliff & Sons. The partnership was dissolved in 1862 and Hinchcliff continued to operate at the subject site.

The Hinchcliff Woolstore (C.1863- 1945)

From 1845, Andrew Hinchcliff, reputedly one of the best judges of Australian wool then living, formed a large and lucrative business operating in a dual capacity as a buyer and shipper of wool. A. Hinchcliff, Son and Co. and became widely and favourably known as one of the oldest and largest firms connected with the wool trade of New South Wales. It is likely that Hinchcliff had traded at the subject from at least 1858 (in partnership with Ed Joy and Co. as identified above) and the site was purchased by Andrew Hinchcliff in 1876. Ownership passed to son John, on his death.

The subject store was constructed in two stages. The southern section was built first, and has been dated as early as 1865 although rates and assessment books indicate a construction in the late 1870s, and certainly by 1880. The southern store is recorded in the 1880 Assessment Book as a three storey brick and stone structure with slate roof. The northern store was completed two years later, matching the southern store.

Following the economic downturn of the 1890s, the wool industry was one of the hardest hit and John Hinchcliff died in 1895, heavily in debt. Ownership of the Hinchcliff store transferred to Summer Hill Barrister, Joseph William Dixon in 1894. Ownership passed from many wool merchants until it was sold the Trustees of the Superior Council of Australia of the Society of St Vincent de Paul on 1st of September 1949, ending the original wool store use (although the Society may have partially occupied the store as early as 1945).

The Society Of St Vincent De Paul (1945-1988)

Initially the site operated as the Catholic United Services Australia (C.U.S.A) Navy Club, which was conducted by the Catholic Club for seafarers under the auspices of the Society of St Vincent de Paul. They provided café and club facilities for members of the Royal Australian Navy, and visiting personnel from other countries when in Sydney. The club was open every night and staffed by Catholic volunteers who prepared and served meals and provided Christian entertainment. From 1952 the site also housed the Matthew Talbot Hostel for destitute men.

The Maternal Heart Of Mary Marist Chapel (Circa 1966)

In the mid-1960s the St Vincent de Paul Society made part of the ground floor available at a nominal rent for use by the Marist Fathers as a chapel. The ground floor of 5 Young Street housed the Maternal Heart of Mary Marist Chapel until at least 2005. The Chapel was serviced by staff from St

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	<p>Patrick's however in its latter years, attendance had diminished and its long-term viability was questioned.</p> <p><u>Australian Mutual Provident (AMP) Society</u> AMP purchased the former Wool Store in 1988. From 1992 they leased the ground, first and second floors to the E. F International English School, who undertook further internal alterations for their new fit out. The Marist Chapel on the ground floor continued to operate rent-free on a month-to-month basis until 2005 when it was proposed to incorporate the chapel space as part of the language school function. Following protest, the Chapel was given a temporary reprieve and the month to month arrangement continued. At present (2012), the language school continues to operate at the site while the former Chapel is disused.</p>
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THEMES

National historical theme	Developing local, regional and national economies / Working / Governing / Developing Australia's cultural life / Marking the phases of life
State historical theme	Agriculture / Commerce / Industry / Pastoralism / Labour / Government and administration / Creative endeavour / Persons

APPLICATION OF CRITERIA

Historical significance SHR criteria (a)	<p>Hinchcliff wool store demonstrates the former use and function of Circular Quay as the principal trading port of the colony of NSW and as such, contributes to the interpretation of the adjacent Customs House.</p> <p>It reflects the shift in the market centre for wool to the colonies over London and reflects the significance and expansion of the Australian wool industry, and the importance of wool as Australia's chief export. From 1810, the wool industry substantially contributed to the Australian economy and development, including clearing of land and establishment of grazing lands, construction of road and rail links and development of port facilities. Apart from its economic influence, the industry also contributed to shaping the Australian image, as a country that was 'riding on the sheep's back'. Its form and design typifies early (mid-19th century) wool stores and the store is one of only two remaining such stores that formerly dominated the Quay. It functioned as a store until 1945 when the site was purchased by the Catholic Archdiocese. The continued store use was atypical in the precinct, where most stores moved into the Ultimo Pyrmont area, post 1890.</p> <p>The extension of the wool store circa 1882 with the construction of the northern store reflects the boom period in the wool industry circa 1870-1880.</p> <p>Satisfies this criterion at the state level.</p>
Historical association significance SHR criteria (b)	<p>The store is associated with noted wool broker Thomas Holt junior who was granted the northern portion of the site in 1853 and acquired the southern lot by 1863.</p> <p>The wool store was built for and is associated with John and Andrew Hinchcliff, (wool merchants) and the firm of Hinchcliff, Son and Co. which was widely and favourably known as one of the oldest and largest firms connected with the wool trade of New South Wales.</p> <p>The site is also associated with the St Vincent's De Paul Society. It served as CUSA Navy Club rooms and as offices, packing and dispatch store. After 1951 it served as the Offices of the Secretariat and was renamed Ozanam House in honour of the founder of the Society. The site also housed the Matthew Talbot Hostel for destitute men.</p> <p>Satisfies this criterion at the local level.</p>

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<p>Aesthetic significance SHR criteria (c)</p>	<p>Hinchcliff wool store has aesthetic significance as a fine representative example of the gable roofed vernacular warehouse style, the function of which can still be interpreted.</p> <p>The building is moderate to highly intact and retains original internal timber post and beam structure with King post truss roof and exposed flooring forming ceilings. Retained cathead beam structures and large hoist pulleys characterise the manual lifting of wool to the upper floors.</p> <p>The building responds and interprets the adjacent Customs House and contributes to the streetscape, with its location at the juncture of Young Street and Customs House Lane enabling visibility of the dual street frontages.</p> <p>Satisfies this criterion at the state level.</p>
<p>Social significance SHR criteria (d)</p>	<p>For a substantial period, the economic and social fabric of Australia was interwoven with the wool industry and the store reflects the shift in the international market to the colonies and the development of Circular Quay as the principal trading port. However the store has not operated as such since the mid-1940s and does not have a contemporary community or cultural association.</p> <p>The site is associated with the St Vincent de Paul Society and served for a number of years as the Secretariat Offices, as the Mathew Talbot Hostel for Destitute men and also as the Marist Chapel. The closure of the chapel generated much public interest and controversy.</p> <p>Satisfies this criterion at the local level</p>
<p>Technical/Research significance SHR criteria (e)</p>	<p>Hinchcliff has the potential to contribute further to our understanding of the use and operations of mid-nineteenth century warehouse buildings, particularly in the area of goods handling and the changes in technology and typology that occurred over time.</p> <p>Hinchcliff has potential archaeological, scientific and research significance relevant to earlier uses and the development/ occupation of the site as part of the former Governors Domain. The archaeological potential of the store and associated Customs House Lane and Loftus Lane has been assessed as moderate.</p> <p>Archaeological deposits associated with the First Government House garden, or Aboriginal burials are potentially of National heritage significance.</p>
<p>Rarity SHR criteria (f)</p>	<p>A rare surviving and moderately intact example of the first generation of woolstores, with the characteristic gables over loading bays, which dominated Circular Quay in the mid-19th century. The store is one of two surviving stores within the vicinity of the Quay and one of only a small group of surviving smaller stores in the broader LGA.</p> <p>Extant equipment such as the cathead beam and pulleys are also rare.</p> <p>Satisfies this criterion at the state level.</p>
<p>Representativeness SHR criteria (g)</p>	<p>The store is an excellent representative example of the early vernacular stores common in the mid-late 19th century and of moderate to high integrity. Materials and construction are representative of Victorian warehouses and includes original winching equipment.</p> <p>Satisfies this criterion at the state level.</p>
<p>Integrity</p>	

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HERITAGE LISTINGS	
Heritage listing/s	State Heritage Register under the Heritage Act 1977
	City of Sydney Local Environmental Plan 2005 Schedule 8 – Items of Environmental Heritage (items of local significance)
	Draft Sydney Local Environmental Plan 2011 - Schedule 5 Items of Environmental Heritage (items of local significance)
	Register of the National Estate (items of local, state or national significance)
	National Trust of Australia (items of local, state or national significance)

INFORMATION SOURCES				
Include conservation and/or management plans and other heritage studies.				
Type	Author/Client	Title	Year	Repository
Report	Urbis	Conservation Management Plan	2012	

RECOMMENDATIONS	
Recommendations	<p>Management should be as per the policy recommendations of the Conservation Management Plan (2012)</p> <p>The form, scale and general configuration of the former Hinchcliff wool store should be retained. There should be no vertical extension of the building, even if set back</p> <p>All future decisions and works to the building must be guided by the statement of significance and the significant spaces, fabric and building elements identified in the CMP together with any additional detailed research and assessment</p> <p>The schedule of Conservation works within the CMP should be undertaken as part of long term management and maintenance of the property.</p> <p>Any proposed adaptive re-use of the former Hinchcliff Store should be compatible with the nature and significance of the building.</p> <p>Any future adaptation of the interior to suit new uses should be reversible and should not involve alterations to exceptional or highly significant fabric such as timber posts and beams, floors and load bearing masonry structures</p> <p>Elements which interpret the former wool store function of the building such as the cat-head beams, pulleys, parapet detailing and the raised letter sign on the northern parapet should be conserved with appropriate maintenance.</p> <p>The significant façades and overall form of the building should be visible and not obscured by new development. There should be no additions cantilevering over the site;</p>

SOURCE OF THIS INFORMATION			
Name of study or report	Draft Conservation Management Plan - Former Hinchcliff Wool Store, 5-7 Young Street, Sydney	Year of study or report	2012
Item number in study or report			
Author of study or report	Urbis - Fiona Binns (Senior Heritage Consultant)		
Inspected by	Urbis - Stephen Davies (Director)		
NSW Heritage Manual guidelines used?		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
This form completed by	Urbis – Guy Smith (Planning Consultant) and Fiona Binns (Senior Heritage Consultant)	Date	December 2012

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IMAGES - 1 per page



Image caption	Eastern Elevation (Young Street)				
Image year	2012	Image by	Fiona Binns	Image copyright holder	Urbis Pty Ltd

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Image caption	Northern Elevation (Custom House Lane)				
Image year	2012	Image by	Fiona Binns	Image copyright holder	Urbis Pty Ltd

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Image caption	Western Elevation (Loftus Lane)				
Image year	2012	Image by	Fiona Binns	Image copyright holder	Urbis Pty Ltd

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Image caption	Interior - E. F International English School (South Store Level 1)				
Image year	2012	Image by	Fiona Bins	Image copyright holder	Urbis Pty Ltd

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Image caption	Interior – Former Marist Chapel (Ground Floor North Store)				
Image year	2012	Image by	Fiona Bins	Image copyright holder	Urbis Pty Ltd

Appendix B

Sydney LEP Heritage Listing

Section 1. Items listed under the NSW Heritage Act.

Ozanam House

Item details

Name of item: Ozanam House

Other name/s: Hinchcliff's Woolstore, E F House & Marist Chapel

Type of item: Built

Group/Collection: Commercial

Category: Warehouse/storage area

Location: Lat: 151.2109494 Long: -33.86251592

Primary address: 5-7 Young Street, Sydney, NSW 2000

Parish: St James

County: Cumberland

Local govt. area: Sydney

Property description

Lot/Volume Code	Lot/Volume Number	Section Number	Plan/Folio Code	Plan/Folio Number
LOT	1		DP	723381

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
5-7 Young Street	Sydney	Sydney	St James	Cumberland	Primary Address

Owner/s

Organisation Name	Owner Category	Date Ownership Updated
AMP Life Limited	Private	04 May 99

Statement of significance:

EF House, formerly Hinchcliff Wool Stores, 5-7 Young Street, is one of only two known examples of its building type left in Sydney. (The other is the building now called Gallipoli House, in Loftus Street, whose appearance has been much compromised.) It has historic significance, evoking a bustling period in Sydney's history, when Circular Quay was the centre of the international shipping trade, and wool was Australia's chief export. It demonstrates the form and quality of the woolstore type that preceded the entrepreneurial display of wool in larger south lit buildings. The building is a handsome element in the streetscape and an intrinsically interesting architectural composition. The remaining timber internal structure, cathead beam structures, and a large hoist pulley characterising the manual lifting of wool to the upper floors, provide the building additional scientific significance. (Sydney City Council Heritage Inventory)

Date significance updated: 03 Nov 06

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Designer/Maker:	Unknown
Builder/Maker:	Unknown
Construction years:	1860-1860
Physical description:	Painted Stucco & Sandstone
Modifications and dates:	Southern Section c1860; Northern Section 1880s
Current use:	School; Chapel
Former use:	Various, including mission, chapel, offices, originally warehouse store

History

Historical notes: Andrew Hinchcliff, who developed a reputation as one of the best judges of wool in the colony, erected an iron shed in Young Street, at the corner of Custom House Lane, in 1845, and by about 1860 the firm of A Hinchcliff, Son & Co had built a stone wool store next door. In the late 1880s the iron shed was replaced by a building matching the stone store and erected against its north wall. These are the two connected components that survive today. The Bank of NSW, as mortgagor, leased the property in 1937 to German woolbuyers. A mortgagee sale in 1945 saw the property acquired by the Sydney Archdiocese of the Roman Catholic Church and in 1949 it passed to the Society of St Vincent de Paul and was named Ozanam House in acknowledgment of the founder of the Society. In 1952 part of the building was used as the Matthew Talbot Hostel for Homeless Men. It included dormitories, a bookshop and soup kitchen on the ground floor, and barber's shop, and laundry in the basement. With the departure of the Hostel to larger premises, a new chapel was created on the ground floor of the 1880s structure in 1966. Today it is the only part of the building

recalling 40 years of the Society of St Vincent de Paul's occupancy. The property was sold in 1988 to the AMP Society. The EF International English School has occupied the balance of the building since 1992. (Sydney City Council Heritage Inventory)

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
3. Economy-Developing local, regional and national economies	Commerce-Activities relating to buying, selling and exchanging goods and services	(none)-

Assessment of significance

SHR Criteria a) [Historical significance] This building represents a distinctive period when Circular Quay was the centre of the international shipping trade, and wool was Australia's chief export. Its form and quality typify the kind of woolstore, now very uncommon, that was built merely to store wool as opposed to later woolstores with saw tooth southlight roofs which were built to display the wool as well. It is historically important for its association with the St Vincent de Paul Society which occupied the building for forty years, including its use as a hostel in the 1950s. Has historic significance at a State level. (Sydney City Council Heritage Inventory)

SHR Criteria c) [Aesthetic significance] The interior structure of heavy timber posts, girders seated on stone bolsters, joists and timber flooring is typical of the pre-southlight type of warehouse constructed later in the century. The roof trusses, formed of dressed timber members with common rafters underlaid by boarding to form an attractive ceiling, are unusual. The cathead beam structures and large hoist pulley that characterise the manual lifting of wool to the upper floors are significant. The many loading doorways must have facilitated rapid handling of the wool. Has aesthetic significance at a State level. (Sydney City Council Heritage Inventory)

SHR Criteria d) [Social significance] Intrinsically attractive, this building is an intact and small composition. Its facade, which addresses three streets, makes an important contribution to the streetscape of Circular Quay. It is also an interesting example of matching designs used in two periods of construction and for its evidence of several campaigns of adaptive re-use. It has aesthetic significance as a representative of the older gable roofed warehouse style, the function of which can still be interpreted. (Sydney City Council Heritage Inventory)


SHR Criteria f) [Rarity] It is now a rare example of a building type that preceded the period when wool was displayed and sold to agents locally. (Sydney City Council Heritage Inventory)

Assessment criteria: Items are assessed against the  [State Heritage Register \(SHR\) Criteria](#) to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Procedures /Exemptions

Section of act	Description	Title	Comments	Action date
57(2)	Exemption to allow work	Heritage Act	Record converted from HIS events	Aug 14 1987

			Order Under Section 57(2) to exempt the following activities from Section 57(1): (1) The maintenance of any building or item on the site where maintenance means the continuous protective care of existing buildings.	
57(2)	Exemption to allow work	Heritage Act	See File For Schedule Order Under Section 57(2) to exempt the following activities from Section 57(1): The maintenance of any building or item on the site where maintenance means the continuous protective care of existing material.	Aug 12 1988
57(2)	Exemption to allow work	Heritage Act	See File For Schedule Order Under Section 57(2) to exempt the following activities from Section 57(1): (1) The maintenance of any building or item on the site where maintenance means the continuous protective care of existing materials.	Aug 11 1989
57(2)	Exemption to allow work	Standard Exemptions	SCHEDULE OF STANDARD EXEMPTIONS HERITAGE ACT 1977 Notice of Order Under Section 57 (2) of the Heritage Act 1977 I, the Minister for Planning, pursuant to subsection 57(2) of the Heritage Act 1977, on the recommendation of the Heritage Council of New South Wales, do by this Order: 1. revoke the Schedule of Exemptions to subsection 57(1) of the Heritage Act made under subsection 57(2) and published in the Government Gazette on 22 February 2008; and 2. grant standard exemptions from subsection 57(1) of the Heritage Act 1977, described in the Schedule attached. FRANK SARTOR Minister for Planning Sydney, 11 July 2008 To view the schedule click on the Standard Exemptions for Works Requiring Heritage Council Approval link below.	Sep 5 2008

 [Standard exemptions](#) for works requiring Heritage Council approval

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Heritage Act - State Heritage Register		00701	02 Apr 99	27	1546
Heritage Act - Permanent Conservation Order - former		00701	11 Aug 89	88	5533

References, internet links & images

None

Note: internet links may be to web pages, documents or images.



(Click on thumbnail for full size image and image details)

Data source

The information for this entry comes from the following source:

Name: Heritage Office

Database number: 5044994

File number: S91/01397 & HC 86/0503

Section 2. Items listed by Local Government and State Agencies.

Former 'Hinchcliff Wool Stores'

Item details

Name of item: Former 'Hinchcliff Wool Stores'

Other name/s: Ozanam House, Formerly Hinchcliff's Wool Stores, E F House & Marist Chapel

Type of item: Built

Group/Collection: Commercial

Category: Warehouse/storage area

Location: Lat: -33.8640896309711 Long: 151.209792796196

Primary address: 5-7 Young Street, Sydney, NSW 2000

Local govt. area: Sydney

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
5-7 Young Street	Sydney	Sydney			Primary Address

Statement of significance:

EF House, formerly Hinchcliff Wool Stores, 5-7 Young Street, is one of only two known examples of its building type left in Sydney. (The other is the building now called Gallipoli House, in Loftus Street, whose appearance has been much compromised.) It has historic significance, evoking a bustling period in Sydney's history, when Circular Quay was the centre of the international shipping trade, and wool was Australia's chief export. It demonstrates the form and quality of the woolstore type that preceded the entrepreneurial display of wool in larger south lit buildings. The building is a handsome element in the streetscape and an intrinsically interesting architectural composition. The remaining timber internal structure, cathead beam structures, and a large hoist pulley characterising the manual lifting of wool to the upper floors, provide the building additional scientific significance.

Date significance updated: 30 Jan 06

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Designer/Maker: Unknown

Builder/Maker: Unknown

Construction years: 1860-1860

Physical description: EF House comprises of two matching three-storeyed gabled structures erected more than 20 years apart, the later one on the north dating from the 1880s. They combine, as a survivor of a warehouse type once common, having cat-headed loading bays within parapeted gables. The building is also unusual in having a loading bay under a cross gable facing Custom House Lane and another in a rear gable facing Loftus Lane. The lowest storey has sandstone walling while the upper storeys are sandstock brick, faced externally in stucco embellished by quoining, window dressings, label moulds over the arched bays, ball finials at the gable apexes, and a side parapet bearing the raised lettering HINCHCLIFF'S WOOL STORES. The gable on this north side has bold flanking piers and a decorative pediment in which the cathead pulley may still be seen. The two parts of the structure are joined by wide internal archways at first and second floor levels. Category:Individual Buildings. Style:Victorian Regency. Storeys:3 (South); 3 + Basement (North). Facade:Painted Stucco & Sandstone. Side/Rear Walls:Painted Stucco & Sandstone. Internal Walls:Brick, Plastered and Exposed; Timber and Metal Frame Clad with Plasterboard. Roof Cladding:Corrugated Metal. Internal Structure:Heavy Timber Posts & Girders. Floor:Timber Joists, Herringbone Strutting & Floor Boards. Roof:Timber King-Post Trusses, Purlins & Rafters. Ceilings:Exposed Floor Structure; Plaster Panels. Stairs:Concrete, Modern. No original stairs remain.. Sprinkler System:Yes. Lifts:None.

Physical condition and/or Archaeological potential: Although new partitioning and some suspended ceilings have been added internally, much of the original structure is visible in the northern section. There is a slight difference in the floor levels of the two parts of the building. The north half has a basement accessed from Loftus Lane. Each component and all facades are virtually symmetrical and originally there were twelve wide loading doorways, including four on each of the upper storeys. All except the present entrances have been converted into windows. All the exterior surfaces are now painted. Intrusive Elements:Modern partitions and ceiling.

Date condition updated:30 Jan 06

Modifications and dates: Southern Section c. 1860; Northern Section c. 1880

Further information: High Significance:All original structure, facades and detail. Evidence of warehouse use, including cat-head beams and lifting mechanisms. Medium Significance:Loading bay joinery. Evidence of use by St Vincent de Paul. Low Significance:Modern entrances on Young Street.

Heritage Inventory sheets are often not comprehensive, and should be regarded as a general guide only. Inventory sheets are based on information available, and often do not include the social history of sites and buildings. Inventory sheets are constantly updated by the City as further information becomes available. An inventory sheet with little information may simply indicate that there has been no building work done to the item recently: it does not mean that items are not significant. Further research is always recommended as part of preparation of development proposals for heritage items, and is necessary in preparation of Heritage Impact Assessments and Conservation Management Plans, so that the significance of heritage items can be fully assessed prior to submitting development applications.

Current use: School; Chapel

Former use: Various, including mission, chapel, offices, originally warehouse store

History

Historical notes: The "Eora people" was the name given to the coastal Aborigines around Sydney. Central Sydney is therefore often referred to as "Eora Country". Within the City of Sydney local government area, the traditional owners are the Cadigal and Wangal bands of the Eora. There is no written record of the name of the language spoken and currently there are debates as whether the coastal peoples spoke a separate language "Eora" or whether this was actually a dialect of the Dharug language. Remnant bushland in places like Blackwattle Bay retain elements of traditional plant, bird and animal life, including fish and rock oysters.

With the invasion of the Sydney region, the Cadigal and Wangal people were decimated but there are descendants still living in Sydney today. All cities include many immigrants in their population. Aboriginal people from across the state have been attracted to suburbs such as Pymont, Balmain, Rozelle, Glebe and Redfern since the 1930s. Changes in government legislation in the 1960s provided freedom of movement enabling more Aboriginal people to choose to live in Sydney.


(Information sourced from Anita Heiss, "Aboriginal People and Place", Barani: Indigenous History of Sydney City <http://www.cityofsydney.nsw.gov.au/barani>)

Andrew Hinchcliff, who developed a reputation as one of the best judges of wool in the colony, erected an iron shed in Young Street, at the corner of Custom House Lane, in 1845, and by about 1860 the firm of A Hinchcliff, Son & Co had built a stone wool store next door. In the late 1880s the iron shed was replaced by a building matching the stone store and erected against its north wall. These are the two connected components that survive today. The Bank of NSW, as mortgagor, leased the property in 1937 to German woolbuyers. A mortgagee sale in 1945 saw the property acquired by the Sydney Archdiocese of the Roman Catholic Church and in 1949 it passed to the Society of St Vincent de Paul and was named Ozanam House in acknowledgment of the founder of the Society. In 1952 part of the building was used as the Matthew Talbot Hostel for Homeless Men. It included dormitories, a bookshop and soup kitchen on the ground floor, and barber's shop, and laundry in the basement. With the departure of the Hostel to larger premises, a new chapel was created on the ground floor of the 1880s structure in 1966. Today it is the only part of the building recalling 40 years of the Society of St Vincent de Paul's occupancy. The property was sold in 1988 to the AMP Society. The EF International English School has occupied the balance of the building since 1992.

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
3. Economy-Developing local, regional and national economies	Commerce-Activities relating to buying, selling and exchanging goods and services	(none)-

Assessment of significance

SHR Criteria a) [Historical significance]	This building represents a distinctive period when Circular Quay was the centre of the international shipping trade, and wool was Australia's chief export. Its form and quality typify the kind of woolstore, now very uncommon, that was built merely to store wool as opposed to later woolstores with saw tooth southlight roofs which were built to display the wool as well. It is historically important for its association with the St Vincent de Paul Society which occupied the building for forty years, including its use as a hostel in the 1950s. Has historic significance at a State level.
SHR Criteria c) [Aesthetic significance]	The interior structure of heavy timber posts, girders seated on stone bolsters, joists and timber flooring is typical of the pre-southlight type of warehouse constructed later in the century. The roof trusses, formed of dressed timber members with common rafters underlaid by boarding to form an attractive ceiling, are unusual. The cathead beam structures and large hoist pulley that characterise the manual lifting of wool to the upper floors are significant. The many loading doorways must have facilitated rapid handling of the wool. Has aesthetic significance at a State level. Cultural: Intrinsically attractive, this building is an intact and small composition. Its facade, which addresses three streets, makes an important contribution to the streetscape of Circular Quay. It is also an interesting example of matching designs used in two periods of construction and for its evidence of several campaigns of adaptive re-use. It has aesthetic significance as a representative of the older gable roofed warehouse style, the function of which can still be interpreted.
SHR Criteria f) [Rarity]	It is now a rare example of a building type that preceded the period when wool was displayed and sold to agents locally.
Assessment criteria:	Items are assessed against the  State Heritage Register (SHR) Criteria to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Recommended management:

General: A conservation plan should be prepared to guide the future use and maintenance of the building. The form, scale and general configuration of EF House should be retained. There should be no vertical extension of the building, even if set back. Exterior: Original or early elements including stucco wall surfaces and detailing, cat-head beams, warehouse machinery, parapet detailing and the raised letter sign on the northern parapet should be conserved with appropriate maintenance. Original or early timber and door joinery should be similarly conserved and maintained. The fenestration pattern in the loading bay openings should generally be retained although reconstruction based on historical evidence may be desirable. Existing windows, doors and warehouse loading bays in all facades should not be enlarged or filled in. Painted stucco surfaces should continue to be painted in a traditional colour scheme. Identification signs should continue to be restricted to ground floor level. Interior: Removal of modern wall framing and finishes is desirable to reveal the original volume and spatial arrangement. Any future adaptation of the interior to suit new uses should be reversible and should not involve alterations to original or early structural elements such as timber posts and beams, floors and load bearing brick surfaces. Any new partitions or services should not conceal or obscure interpretation of original or early structural elements. No new openings should be made in the dividing wall between the two sections of the building. No new suspended ceilings should be introduced. Physical evidence of

the St Vincent De Paul Society's occupation of the building should be retained if possible. Modern ceilings and partitions which obscure the interpretation of the original volume and use of the building, should be removed when the opportunity arises. The building should be retained and conserved. A Heritage Assessment and Heritage Impact Statement, or a Conservation Management Plan, should be prepared for the building prior to any major works being undertaken. There shall be no vertical additions to the building and no alterations to the façade of the building other than to reinstate original features. The principal room layout and planning configuration as well as significant internal original features including ceilings, cornices, joinery, flooring and fireplaces should be retained and conserved. Any additions and alterations should be confined to the rear in areas of less significance, should not be visibly prominent and shall be in accordance with the relevant planning controls.

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan	Sydney LEP 2005	441	09 Dec 05	154	140

References, internet links & images

Type	Author	Year	Title	Internet Links
Written		1995	Circular Quay Heritage Study	
Written			Certificate of Title Volume 2826 Folio 234; DP723381;	
Written			Sands Directories;	
Written			SCC Assessment Books;	
Written			SCC Street Cards;	
Written			Sands Directories;	
Written			Sydney Cityscope;	
Written	Anita Heiss		Aboriginal People and Place, Barani: Indigenous History of Sydney City	
Written	Trevor Howells & Mark	1995	Survey of Warehouses and Woolstores Within the	

	O'Donnell		City of Sydney	
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Note: internet links may be to web pages, documents or images.



(Click on thumbnail for full size image and image details)

Data source

The information for this entry comes from the following source:

Name: Local Government

Database number: 2423865

Appendix C

Abbreviations and Definitions

Common abbreviations and definitions used throughout the report are provided in the table below:

TABLE 11 – ABBREVIATIONS

ABBREVIATION	DEFINITION
BCA	Building Code of Australia
CMP	Conservation Management Plan
EMP	Environmental Management Plan
LEP	Local Environmental Plan
HAMS	Heritage Asset Management Strategy
HMF	Heritage Management Framework
REF	Review of Environmental Factors
RNE	Register of the National Estate
S170R	Section 170 Heritage and Conservation Register (under the <i>Heritage Act 1977</i>)
SEPP	State Environmental Planning Policy
SHR	State Heritage Register of New South Wales (under the <i>Heritage Act 1977</i>)
TAMP	Total Asset Management Plan

TABLE 12 – TERMS

TERM	DEFINITION
Aboriginal object	A statutory term meaning any deposit, object or material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of the area that comprises New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non- Aboriginal extraction, and includes Aboriginal remains
Aboriginal place	A statutory term meaning any place declared to be an Aboriginal place (under s.84 of the <i>National Parks and Wildlife Act 1974</i>) by the Minister administering the NPW Act, because the Minister is of the opinion that the place is or was of special significance with respect to Aboriginal culture; it may or may not contain Aboriginal objects
Archaeological assessment	A study undertaken to establish the archaeological significance (research potential) of a particular site and to identify appropriate management actions
Archaeological potential	The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research
Archaeology	The study of past human cultures, behaviours and activities through the recording and excavation of archaeological sites and the analysis of physical evidence
Australia ICOMOS	The national committee of the International Council on Monuments and Sites
Burra Charter	Charter adopted by Australia ICOMOS, which establishes the nationally accepted principles for the conservation of places of cultural significance; Although the <i>Burra Charter</i> is not cited formally in an Act, it is nationally recognised as a document that shapes the policies of the Heritage Council of NSW
Conservation	All the processes of looking after an item so as to retain its cultural significance; it includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction and adaptation, and will be commonly a combination of more than one of these
Conservation	A document explaining the significance of a heritage item, including a heritage

TERM	DEFINITION
Management Plan	conservation area, and proposing policies to retain that significance; it can include guidelines for additional development or maintenance of the place
Conservation policy	A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations
Context	The specific character, quality, physical, historical and social characteristics of a building's setting; depending on the nature of the proposal, the context could be as small as a road or entire suburb
Curtilage	The geographical area that provides the physical context for an item, and which contributes to its heritage significance; land title boundaries do not necessarily coincide
Heritage and Conservation Registers	A register of heritage assets owned, occupied or controlled by a State agency, prepared in accordance with section 170 of the Heritage Act
Heritage assets	Items of heritage significance identified in a State Government Agency's Heritage and Conservation Register, including items of cultural and natural significance
Heritage Asset Management Strategy	A strategy prepared by a State Government Agency to document how the principles and guidelines outlined in the <i>Management of Heritage Assets by NSW Government Agencies</i> will be implemented in the management of heritage assets
Heritage item	A landscape, place, building, structure, relic or other work of heritage significance
Heritage significance	Of aesthetic, historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations
Heritage value	Often used interchangeably with the term 'heritage significance'; there are four nature of significance values used in heritage assessments (historical, aesthetic, social and technical/research) and two comparative significance values (representative and rarity)
Integrity	A heritage item is said to have integrity if its assessment and statement of significance is supported by sound research and analysis, and its fabric and curtilage and still largely intact
Interpretation	Interpretation explains the heritage significance of a place to the users and the community; the need to interpret heritage significance is likely to drive the design of new elements and the layout or planning of the place
Maintenance	Continuous protective care of the fabric and setting of a place; to be distinguished from repair; repair involves restoration or reconstruction
Relics	Relic is defined under the Heritage Act 1977 (NSW) as any deposit, object or material evidence which relates to the settlement of the area that comprises NSW, not being Aboriginal settlement, and is of state or local heritage significance
Scar trees	Scarred trees have scars where a section of bark was removed by Aboriginal people in order to make canoes, shields or baskets; footsteps were also cut into the tree trunk to gain access to possums or honey in tree tops; scar trees are different to carved trees
Setting	The area around a heritage place or item that contributes to its heritage significance, which may include views to and from the heritage item; the listing boundary or curtilage of a heritage place does not always include the whole of its setting
Shell middens	Term is referred to in Australia as an archaeological deposit in which shells are the predominant visible cultural items; shells are principally the remains of past meals; some middens also consist of bones, stone and other artefacts
Total Asset Management Policy	Total Asset Management is a NSW Government policy introduced to achieve better planning and management of the State's assets. Total Asset Management is the strategic management of physical assets to best support the delivery of agency services. It is part of a planning framework in which the Government's social, ecological and financial service outcomes are achieved by the most efficient means and within the resource limits of the community. It provides a structured and systematic resource allocation approach to infrastructure and physical asset management so that resources are aligned with the service objectives of State agencies. This approach achieves reduced costs and best

TERM	DEFINITION
	value for money.
Use	Means the functions of a place, as well, as the activities and the practices that may occur at the place; a compatible use respects the cultural significance of a place

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